



Meeting Date: July 23, 2026

To: Public Works Commission

Through: Carla Short, Public Works Director
Scott Anderson, Deputy Director for Project Delivery

From: Masoud Vafaei, Project Manager

Subject: Chinatown Branch Library Renovation Project [Citywide PLA] – Approval of Contract Award

Director's Recommendation: Award construction contract for Chinatown Branch Library Renovation Project [Citywide PLA] in the amount of \$28,157,000 with and additional \$2,815,700 for contingency, and a contract duration of 790 consecutive calendar days to reach final completion with an additional 79 consecutive days for contingency to S.J. Amoroso Construction CO. LLC for renovation work at 1135 Powell Street.

Contract Background: The Chinatown / Him Mark Lai Carnegie Branch Library is a two-story, 18,640-square-foot historic facility originally constructed in 1921 and designated as a San Francisco historic landmark. The building underwent renovation in 1995 that included a rear yard addition, seismic upgrades, and accessibility improvements.

The current renovation project will restore the historic grandeur of the Main Reading Room and deliver extensive building upgrades to support the needs of present and future library users. Major project elements include new architectural finishes, structural improvements, updated mechanical, electrical and elevator systems, exterior façade restoration, construction of a new roof terrace. The completed project will deliver a seismically strengthened, fully modernized, and historically preserved Carnegie library. It will expand accessibility, create dedicated areas for children and teens, support community gatherings, and maintain the building's cultural character and panoramic views. The renovated Him Mark Lai Library will serve as a welcoming, safe, and inclusive space for learning, creativity, and cultural connection for the Chinatown community and the City at large.

Solicitation Process: The project was advertised for bid on January 07, 2026, using the best-value procurement method. Public Works received six bids on April 15, 2026.

Under the best-value process, each bidder was required to submit three separate enclosures: 1) Bidder Qualifications and Experience Statement; 2) Best Value Questionnaire Response; and 3) the price bid and remaining sections of the bid.

Following bid receipt, the Project Manager reviewed all Bidder Qualifications and Experience Statements. During this review, it was determined that two of the six bidders did not meet the minimum qualification requirements specified in the bid documents. Public Works notified both

bidders of the deficiencies and provided an opportunity to submit additional documentation to cure the qualification issues.

After submission of additional information by the two bidders, reviewing the supplemental materials, the Project Manager concluded that the additional information did not demonstrate compliance with the minimum qualification criteria. Public Works Contract Administration subsequently issued Preliminary Notices of Failure to Meet Minimum Qualifications and Rejection of Bid, informing the bidders of their right to request a hearing.

One of the two bidders exercised the right to a hearing. A Hearing Officer was appointed by Public Works Contract Administration, and the bidder was invited to submit any further documentation for consideration. After review, the Hearing Officer determined that the bidder still did not meet the minimum qualification requirements. This finding was deemed final, and Public Works Contract Administration notified the bidder accordingly.

The remaining four bidders proceeded to the Best-Value Questionnaire evaluation and scoring phase. Public Works Contract Administration distributed the Best-Value Questionnaire responses to the approved panelists for independent review and scoring. Panelists were prescreened and approved by the Contract Monitoring Division (CMD) and Contract Administration to ensure qualification and compliance with panel requirements.

Following completion of the Best-Value Questionnaire scoring, Contract Administration scheduled a formal price-bid opening and notified all qualified bidders. The price-bid opening took place online on July 10, 2026. During the event, bid prices were publicly tabulated and then adjusted using the best-value formula, in which the bid price is divided by the Best-Value Questionnaire score. The bidder with the lowest best-value score is deemed the apparent best-value contractor, identified as S.J. Amoroso Construction CO. LLC, as shown in the bid tabulation.

The bid tabulation was posted publicly, initiating the five-working-day bid-protest period. No bid protests were filed.

A summary of the four bids is as follows:

Contract Details:

Contract Title:	Chinatown Branch Library Renovation Project [Citywide PLA]
Contract Award Amount:	\$28,157,000.00
Cost Estimate:	\$21,200,000.00
Contract Funding Sources:	Library Preservation Fund, California State Library Building Forward Grant, General Fund, and Educational Revenue Augmentation Fund (ERAF).

Chinatown Branch Library Renovation Project [Citywide PLA] – Approval of Contract Award
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Anticipated Project Schedule:	Anticipated NTP: August 28, 2026 Anticipated Substantial Completion: August 27, 2028 Anticipated Final Completion: October 26, 2028
Contract Duration:	790 consecutive calendar days (730 days from NTP to Substantial Completion, 60 days from Substantial to Final Completion).
Contractor Name:	S.J. Amoroso Construction CO. LLC
Compliance with Chapter 14B Local Business Enterprise Ordinance:	The Contract Monitoring Division (CMD) established an LBE subcontracting requirement of 20% for this contract. The contractor committed to an LBE participation of 24% in its bid submittal, and Public Works received CMD’s recommendation to award.
Environmental Determination (if applicable):	The Planning Department determined the project is categorically exempt from environmental review under the California Environmental Quality Act (CEQA) Class 1 – Existing Facilities.
Other Compliance:	Labor and Employment Code
Additional Information:	N/A
Attachments:	Attachment 1: Tabulation of Bids Attachment 2: CEQA Determination Attachment 3: CMD Memo

**PUBLIC WORKS COMMISSION
CITY AND COUNTY OF SAN FRANCISCO**

RESOLUTION NO. _____

WHEREAS, On January 9, 2023 San Francisco Public Works (Public Works) entered into an agreement with the San Francisco Public Library Department (SFPL) to manage the design and construction of the Chinatown Branch Library Renovation Project (Project) located at 1135 Powell Street in San Francisco; and

WHEREAS, The renovation will restore the historic grandeur and deliver extensive architectural, structural and building system modernization to serve as a welcoming, safe, and inclusive space for learning, creativity, and cultural connection for the Chinatown community and the City at large; and

WHEREAS, The project will be financed with the Library Preservation Fund, California State Library Building Forward Grant, General Fund, and Educational Revenue Augmentation Fund; and

WHEREAS, The Planning Department has determined the Project is categorically exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 (State CEQA Guidelines 15301 – Minor alteration of existing facilities with negligible or no expansion of use) Categorical Exemption because the Project is an alteration of the existing structure; and

WHEREAS, On January 7, 2026, Public Works advertised the Project using the Best-Value Procurement method and received six bids on April 15, 2026; and

WHEREAS, On June 4, 2026, Public Works Public Works Contract Administration issued Preliminary Notices of Failure to Meet Minimum Qualifications and Rejection of Bid to two of the six bidders and informed the bidders of their right to request a hearing.

WHEREAS, One of the two bidders exercised the right to have a hearing, a Hearing Officer was appointed by Public Works Contract Administration, and Hearing Officer determined that the bidder still did not meet the minimum qualification requirements, and Public Works Contract Administration notified the bidder of this final finding on July 9, 2026, and

WHEREAS, The remaining four bidders proceeded to the Best-Value Questionnaire evaluation by approved panelists for independent review and scoring; and

WHEREAS, Following completion of the Best-Value Questionnaire scoring, Public Works Contract Administration scheduled a formal price-bid opening that took place online on July 10, 2026, and

WHEREAS, Public Works staff and Contract Monitoring Division (CMD) staff reviewed the bids and determined that S.J. Amoroso Construction CO. LL is the responsible bidder providing the best value to the City for the contract amount of \$28,157,000 and no bid protests were filed; and

WHEREAS, Local Business Enterprise (LBE) Sub-contracting requirement of 20% was set by Contract Monitoring Division (CMD) for this contract, and the contractor committed to 24% LBE participation; now, therefore, be it

RESOLVED, That this Commission hereby approves the award of Construction Contract for Sourcing Event ID 0000011171 - Chinatown Branch Library Renovation Project, in the amount of \$28,157,000 with a duration of 790 consecutive calendar days to Final Completion, to S.J. Amoroso Construction CO. LL.

I hereby certify that the foregoing resolution was adopted by the Public Works Commission at its meeting of _____.

Commission Affairs Manager
Public Works Commission

**City and County of San Francisco
Department of Public Works
TABULATION OF BEST VALUE SCORES
PLA**

SOURCING ID: 0000011171

CONTRACT TITLE: PW CHNTWN BRANCH LIB RENO

FULL TITLE: Chinatown Branch Library Renovation [Citywide PLA]

BIDS OPENED: July 10, 2026

<u>BIDDERS (in the order received & opened):</u>	<u>Total Bid Price</u>	<u>Non-Price Score</u>	<u>Best Value Score</u>
			<u>(Total Price ÷ Non-Price Score)</u>
S.J. Amoroso Construction Co. LLC	\$28,157,000.00	82.33	342,001.70
Swinerton	\$33,371,595.20	85.33	391,088.66
Wickman Development and Construction	\$26,235,998.68	73.00	359,397.24
Thompson Builders Corp.	\$33,392,989.00	79.33	420,937.72
Average Bid: \$30,289,395.72			
Engineer's Estimate: \$21,200,000.00			
% of Engineer's Estimate: 143%			
% of Engineer's Estimate vs. Low Bid Received 124%			

cc: Masoud Vafaei Scott Anderson All Bidders
Queen Chen Jason Chin
Magdalena Ryor Richard Gee

For complete subcontractor listings, check: <https://bidopportunities.apps.sfdpw.org/CaseLoad/Details/2658>

July 10, 2026

= Indicates a correction after review



CERTIFICATE OF APPROPRIATENESS

MOTION NO. 478

HEARING DATE: FEBRUARY 21, 2024

Record No.: 2022-013043COA
Project Address: 1135 Powell Street
Landmark: 235 (Chinatown Branch Library)
Zoning: P (PUBLIC) Zoning District
65-A Height and Bulk District
Block/Lot: 0191/004
Project Sponsor: Andrew Sohn, San Francisco Public Works
49 South Van Ness Avenue, Suite 1100
San Francisco, CA 94103
Property Owner: City & County of San Francisco
San Francisco, CA 94102
Staff Contact: Rebecca Salgado - 628-652-7332
Rebecca.Salgado@sfgov.org

ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR MAJOR ALTERATIONS DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10 OF THE SAN FRANCISCO PLANNING CODE, AND TO MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 004 IN ASSESSOR'S BLOCK 0191 IN A P (PUBLIC) ZONING DISTRICT AND A 65-A HEIGHT AND BULK DISTRICT.

Preamble

On July 22, 2023, Andrew Sohn of San Francisco Public Works (hereinafter "Project Sponsor") filed Application No. 2022-013043COA (hereinafter "Application") with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness for interior and exterior alterations at a subject building located on Lot 004 in Assessor's Block 0191, which is Landmark No. 235 (Chinatown Branch Library), locally designated under Article 10, Appendix A of the Planning Code.

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 Categorical Exemption. The Historic Preservation Commission (hereinafter “Commission”) has reviewed and concurs with said determination.

On February 21, 2024, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Certificate of Appropriateness Application No. 2022-013043COA.

The Planning Department Commission Secretary is the Custodian of Records; the File for Record No. 2022-013043COA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby APPROVES WITH CONDITIONS the Certificate of Appropriateness, as requested in Application No. 2022-013043COA in conformance with the architectural plans dated December 18, 2023, and labeled Exhibit B based on the following findings:

Findings

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

- 1. The above recitals are accurate and also constitute findings of the Commission.**
- 2. Project Description.** The proposed project involves work at the historic Main Reading Room including removal of a non-historic mezzanine, exposed diagonal seismic brace frames, and ceiling lighting and vents; installation of concealed concrete and steel seismic plates at portions of the wall and ceiling that will require limited in-kind replacement of historic plaster finishes at the walls and ceiling; installation of new lighting and vents at the ceiling; and installation of removable flat-panel artwork in the arched niches of the west elevation. The project also involves work at the Powell Street façade including replacement of non-historic aluminum windows in the central ground-floor arched openings with wood paired glazed entrance doors topped by an arched transom, flanked by one-over-one double-hung wood windows with integral ogee lugs matching the historic configuration; replacement of non-historic secondary entrance doors at the ground floor with new doors in the existing openings; replacement of the non-historic metal-pipe railings on the entrance stairways with new metal railings; replacement of the non-historic main entrance doors at the second floor with new wood paired glazed doors matching the historic configuration; modifications to the non-historic secondary entrance stair, landing, and trash enclosure at the north end of the Powell Street frontage; and repairs to the historic façade elements, wood windows, and entrance light fixtures. The proposed project also includes exterior alterations to the non-visible, non-historic secondary elevations of the 1996 addition to the library, including window replacement in existing openings and repairs to existing cladding; The proposed project also includes work at the roof of both the historic library and the 1996 rear addition, including construction of a new publicly accessible roof deck with a glazed windscreen set back approximately 18 feet from the Powell Street façade that will be

minimally visible from a public right of way; replacement of an existing elevator penthouse with a new elevator penthouse that will not be visible or minimally visible from a public right of way; replacement of non-historic skylights; and replacement and relocation of mechanical equipment that will not be visible from a public right of way. The proposed project also includes interior alterations at all levels. Please see photographs and plans for details.

- 3. Property Description.** 1135 POWELL STREET is located on the west side of Powell Street between Jackson Street and Washington Street (Assessor's Block 0191; Lot 004). The subject building is Landmark No. 235 (Chinatown Branch Library), locally designated under Article 10, Appendix A of the Planning Code. The Italian Renaissance-style, two-story library was built in 1921 and designed by architect Gustave Albert Lansburgh. The building's Powell Street façade features decorative brick patterning and terra cotta elements, with a symmetrical, 5-bay façade composition. The main entrance at the second floor is reached by a double-return switchback stairway. The building has a flat roof with a solid brick parapet. The landmark designation report for the subject property calls out the following character-defining features for preservation or in-kind replacement, if determined to be necessary:

- exterior composition and materials
- the spatial volume of the Main Reading Room
- the ornamental ceiling of the Main Reading Room

In 1996, the building received a rear addition that doubled its original size as well as a seismic retrofit that resulted in the installation of diagonal bracing in the historic Main Reading Room as well as the removal of a portion of the historic finishes from the interior of the Main Reading Room.

- 4. Surrounding Properties and Neighborhood.** 1135 Powell Street, also known as the Chinatown Him Mark Lai Branch Library, is located at the border of the Chinatown and Nob Hill neighborhoods. Surrounding buildings host primarily residential and commercial uses and generally range in height from two to four stories. The subject property is flanked by the two-story Quong Ming Jade Emperor Palace (1123 Powell Street) to the south and 1149–1153 Powell Street, a three-story commercial and residential building, to the north.
- 5. Public Outreach and Comments.** The project sponsor presented the project at four San Francisco Public Library Commission Meetings between 2017 and 2021, and held six community meetings in 2022 and 2023, two of which were virtual and the remainder in person. The Department has received one public inquiry about the proposed project, asking for information on how long the library would be closed for renovations.
- 6. Planning Code Compliance.** The Commission has determined that the proposed work is compatible with the interior and exterior character-defining features of the subject property and meets the requirements of Article 10 of the Planning Code in the following manner:
- A. **Article 10 of the Planning Code.** Pursuant to Section 1006.6 of the Planning Code, the proposed alteration shall be consistent with and appropriate for the effectuation of the purposes of this Article 10.

The proposed project is consistent with Article 10 of the Planning Code.

- B. **Secretary of the Interior's Standards.** Pursuant to Section 1006.6(b) of the Planning Code, the proposed work shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties for significant and contributory buildings, as well as any applicable guidelines, local interpretations, bulletins, or other policies. Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

- (1) **Standard 1:** A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The proposed work will not modify the existing and historic public library use at the subject property.

- (2) **Standard 2:** The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposal is to remove non-historic additions to the Main Reading Room and install new concealed seismic plates behind select areas of the room's walls; replace non-historic doors, windows, and railings and conduct façade repairs at the Powell Street façade; replace windows and repair façade cladding at the non-historic, non-visible secondary elevations; install a new roof deck, replacement elevator penthouse, and mechanical equipment on the roof; and conduct interior alterations at all levels. While the work at the Main Reading Room will require replacement of portions of the plaster walls and ceiling, this work will bring the overall appearance of the room closer to its historic state because the non-historic mezzanine and diagonal bracing will be removed. Work at the Powell Street façade will repair historic cladding and replace incompatible non-historic doors and windows with new doors and windows that align with the historic appearance of the building.

- (3) **Standard 3:** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.

No conjectural features or elements from other historic properties are proposed.

- (4) **Standard 4:** Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Not applicable. The mezzanine and diagonal bracing in the Main Reading Room that are proposed to be removed date from a larger renovation of the library in the 1990s and have not acquired historic significance in their own right.

- (5) **Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine

craftsmanship that characterize a property shall be preserved.

The distinctive features and finishes of the building will be retained and preserved, with the exception of portions of the historic plaster ceiling and walls in the Main Reading Room, which are proposed to be replaced in kind where necessary. The portions to be replaced will be as minimal as possible, and the replacement ornamental plaster will be based on molds taken of the historic ornamental plaster ahead of demolition work. The proposed replacement of the non-historic aluminum windows in the Powell Street façade's central ground-floor arched openings with wood paired glazed entrance doors topped by an arched transom, flanked by one-over-one double-hung wood windows with integral ogee lugs, will bring this prominent part of the primary façade closer to its documented historic condition.

- (6) **Standard 6:** Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The restoration work at the Powell Street facade primarily proposes repairs rather than replacement of historic façade elements, including cleaning, brick repair, wood window trim repair, and terra cotta repair. If additional survey work reveals limited elements too deteriorated for repair, these elements will be replaced in kind in consultation with Planning staff.

- (7) **Standard 7:** Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The façade repair work at the Powell Street façade includes cleaning of the brick and terra cotta cladding, which will be undertaken using the gentlest means possible in consultation with Planning staff.

- (8) **Standard 8:** Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Preliminary archeological review completed by the Planning Department's cultural resource staff determined that accidental discovery provisions were the appropriate archeological measure for the project and will be included as Public Works standard construction measures.

- (9) **Standard 9:** New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The roof deck proposed to be installed on the historic library will not destroy historic materials or features that characterize the building. The new deck will be set back approximately 18 feet from

the front of the building, and story pole mockups were installed to confirm that the deck and associated glass windscreen will only be minimally visible from a public right of way. The roof deck and windscreen have a simple, contemporary design that is differentiated from but compatible with the historic library.

- (10) **Standard 10:** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed roof deck could be removed in the future without impairing the form and integrity of the historic building.

- C. **Landmarks.** Article 10 of the Planning Code outlines specific findings for the Commission to consider when evaluating applications for alterations to Landmarks or within designated Historic Districts.

Landmarks

1. Pursuant to Section 1006.6(c) of the Planning Code, for applications pertaining to landmark sites, the proposed work shall preserve, enhance, or restore, and shall not damage or destroy, the exterior architectural features of the landmark and, where specified in the designating ordinance pursuant to Section 1004(c), its major interior architectural features. The proposed work shall not adversely affect the special character or special historical, architectural, or aesthetic interest or value of the landmark and its site, as viewed both in themselves and in their setting, nor of the historic district in applicable cases.

The project is in conformance with Article 10, and as outlined in Appendix A, the work shall not adversely affect the Landmark site.

7. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT concerns the physical character and order of the city, and the relationship between people and their environment.

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2:

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

Policy 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

Policy 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject property for the future enjoyment and education of San Francisco residents and visitors.

- 8. Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have an impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not affect the City's affordable housing supply.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project will not have a direct impact on the displacement of industrial and service sectors.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code. As such, this Project will improve the property's ability to withstand an earthquake.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

- 9. For these reasons, the proposal overall appears to meet the Secretary of the Interior's Standards and the provisions of Article 10 of the Planning Code regarding Major Alterations.**

Decision

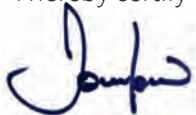
That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES WITH CONDITIONS a Certificate of Appropriateness** for the subject property located at Lot **004** in Assessor's Block **0191** for proposed work in conformance with the architectural submittal dated December 18, 2023, and labeled Exhibit B on file in the docket for Record No. **2022-013043COA**.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days after the date of this Motion No. 0478. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 49 South Van Ness Ave, Suite 1475 or call (628) 652-1150.

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on February 21, 2024.



Jonas P Ionin Digitally signed by Jonas P Ionin
Date: 2024.02.27 14:30:21 -08'00'

Jonas P. Ionin
Commission Secretary

AYES: Vergara, Wright, Foley, Nageswaran, Matsuda
NAYS: None
ABSENT: Baldauf, Campbell
ADOPTED: February 21, 2024

EXHIBIT A

Authorization Update

This authorization is for a Certificate of Appropriateness to allow Alterations located at 1135 Powell Street, Block 0191, Lot 004, pursuant to Planning Code Section **1006.6** within the **P** District and a **65-A** Height and Bulk District; in general conformance with plans, dated **December 18, 2023**, and stamped “EXHIBIT B” included in the docket for Record No. **2022-013043COA** and subject to conditions of approval reviewed and approved by the Historic Preservation Commission on **February 21, 2024**, under Motion No. **478**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' of this Historic Preservation Commission Motion No. **478** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference the Certificate of Appropriateness and any subsequent amendments or modifications.

Severability

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section, or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. “Project Sponsor” shall include any subsequent responsible party.

Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Historic Preservation Commission approval of a new Certificate of Appropriateness. In instances when Planning Commission also reviews additional authorizations for the project, Planning Commission may make modifications to the Certificate of Appropriateness based on majority vote and not required to return to Historic Preservation Commission.

Extension

All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

Conditions of Approval

1. As construction progresses, the project sponsor will provide specifications and documentation of mock-ups for all proposed exterior façade repairs—including repairs to brick, terra cotta, and wood façade elements—to Planning staff for review and approval. If the scope of façade repair work expands to also include replacement of façade elements, the project sponsor will notify Planning staff to allow for further evaluation.

2. As construction progresses, the project sponsor will provide a material sample of the proposed cladding for the elevator penthouse and the proposed glazing for the roof deck windscreen, which must consist of a non-glare glazing product.
3. As construction progresses, the project sponsor will complete feasibility studies to determine whether the original north and south wall windows, which are currently covered by later alterations, may be reopened to admit natural light. The project sponsor will provide staff with the requested feasibility studies for review and comment.

EXHIBIT B

PLANS AND RENDERINGS

A photograph of the San Francisco Public Library Chinatown Branch. The building is a three-story brick structure with a prominent central entrance featuring a small arched canopy. The entrance is flanked by two wide, ornate staircases that lead to the second floor. The facade is characterized by several large, arched windows, some of which are filled with white panels. A sign above the entrance reads "S.F. PUBLIC LIBRARY". To the left of the building, a yellow wall and a green sign are visible. To the right, a white car is parked on the street, and a person is walking on the sidewalk. The overall scene is set in an urban environment.

[illegible][illegible][illegible]

Original Street Sign: 30" x 48"



Ron Aronson - Deputy Director & City Architect
Julia Laine - Director of Design & Project
Architect

485 CALIFORNIA STREET, SUITE 1000, SAN FRANCISCO, CA 94104
415.241.1000 FAX 415.241.1001

CHINTOWN BRANCH

DESIGNED BY
SAN FRANCISCO

CONSULTANT



17 EIFS CONDITION AT EXT. MEZZANINE
18' x 12'



18 NORTH EXTERIOR MEZZANINE
18' x 12'



14 WEST EXTERIOR MEZZANINE
18' x 12'



13 ROOF
18' x 12'



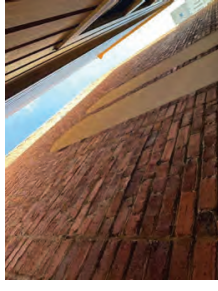
9 ROOF
18' x 12'



5 ROOF
18' x 12'



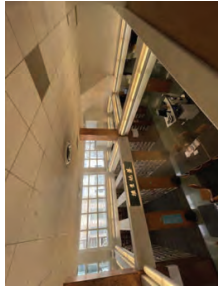
1 ROOF
18' x 12'



2 SOUTH EXTERIOR MAIN READING ROOM
128' x 12'



19 MAIN FLOOR
18' x 12'



15 MAIN FLOOR FROM MEZ ABOVE
18' x 12'



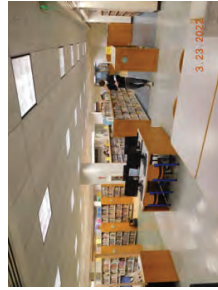
11 READING ROOM
18' x 12'



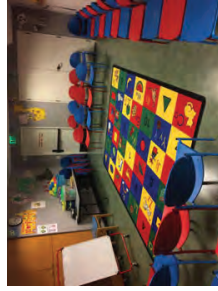
7 READING ROOM
18' x 12'



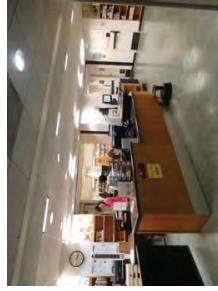
3 READING ROOM FROM MEZZANINE
18' x 12'



20 GROUND FLOOR
18' x 12'



16 GROUND FLOOR
18' x 12'



12 GROUND FLOOR
18' x 12'



8 GROUND FLOOR LOBBY
18' x 12'



4 COMMUNITY ROOM
18' x 12'

FOR 100% USE ONLY

CERTIFICATE OF APPROPRIATENESS 12/18/2023

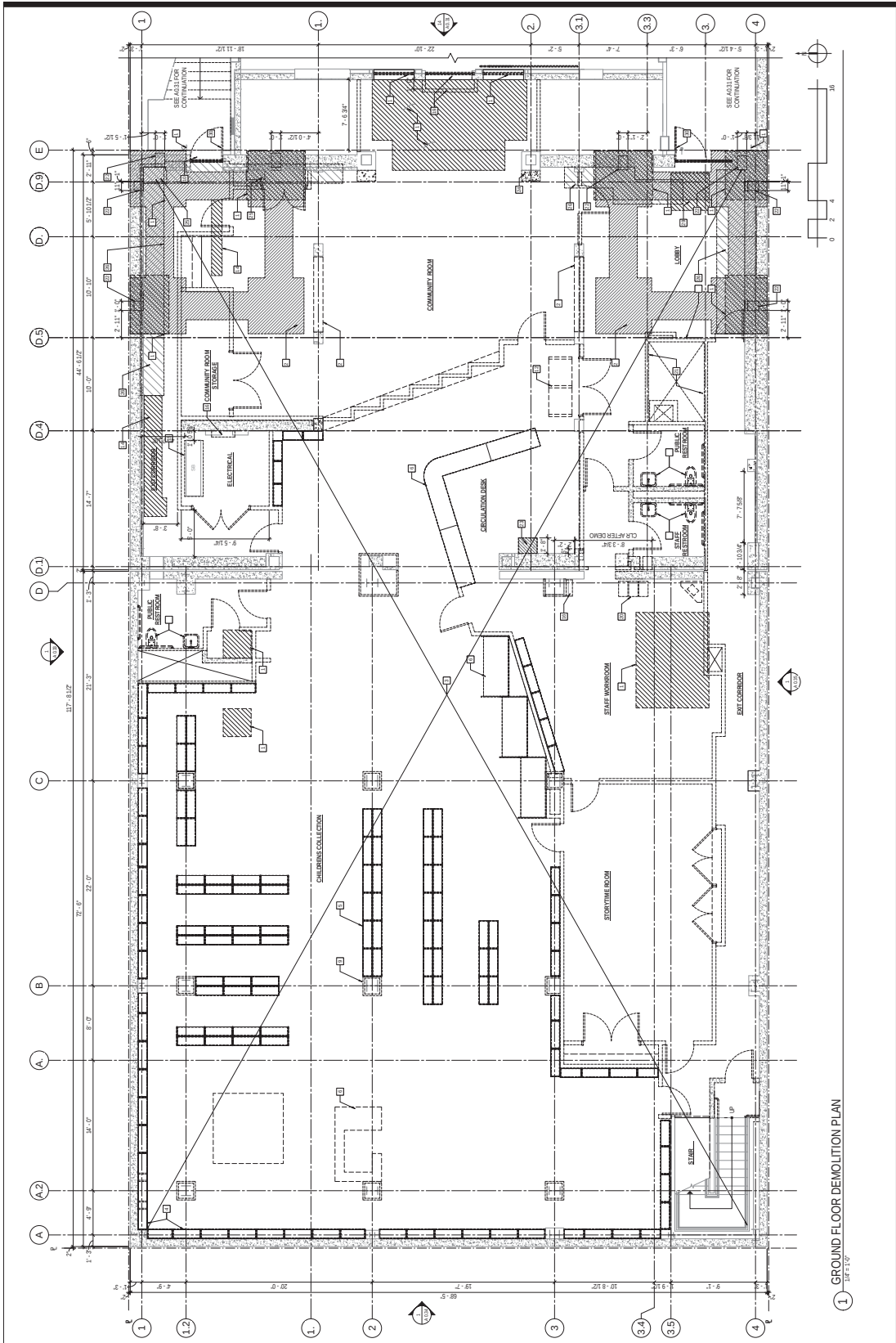
NO.	DATE	REVISION

NOT FOR CONSTRUCTION

Drawing Title

EXISTING CONDITIONS
PHOTOGRAPHS

Sheet No. A.0.00
Scale: 1/8" = 1'-0"



1 GROUND FLOOR DEMOLITION PLAN

SHEET NOTES		KEY NOTES	LEGEND
1. REFER TO HISTORIC PRESERVATION DRAWINGS (B SHEETS) IN THIS SET FOR ADDITIONAL DETAIL REGARDING EXTENT OF DEMOLITION AND PRESERVATION SCOPE OF WORK.		1. REMOVE EXISTING PARTITION WALLS AND CEILING PLASTER AT 10' HIGHER LEVELS.	1. HALFTONE LINES INDICATE EXISTING CONSTRUCTION TO REMAIN.
2. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL SPECIFICATIONS REGARDING DEMOLITION, REPAIR, AND REPLACEMENT OF EXISTING STRUCTURAL ELEMENTS.		2. REMOVE EXISTING PARTITION WALLS AND CEILING PLASTER AT 10' HIGHER LEVELS.	2. REMOVE EXISTING PARTITION WALLS AND CEILING PLASTER AT 10' HIGHER LEVELS.
3. ALL DOORS, DOOR THRESHOLDS, FRAMES, AND THRESHOLDS ARE TO BE REMOVED. SALVAGE OF DOORS AND HARDWARE TO BE DETERMINED BY THE OWNER FOR REUSE OR DISPOSAL.		3. REMOVE EXISTING PARTITION WALLS AND CEILING PLASTER AT 10' HIGHER LEVELS.	3. REMOVE EXISTING PARTITION WALLS AND CEILING PLASTER AT 10' HIGHER LEVELS.
4. SALVAGE ITEMS NOT LISTED FOR REINSTALLATION ARE TO BE DELIVERED TO THE OWNER FOR REUSE OR DISPOSAL.		4. REMOVE EXISTING PARTITION WALLS AND CEILING PLASTER AT 10' HIGHER LEVELS.	4. REMOVE EXISTING PARTITION WALLS AND CEILING PLASTER AT 10' HIGHER LEVELS.
5. SALVAGE ITEMS NOT LISTED FOR REINSTALLATION ARE TO BE DELIVERED TO THE OWNER FOR REUSE OR DISPOSAL.		5. REMOVE EXISTING PARTITION WALLS AND CEILING PLASTER AT 10' HIGHER LEVELS.	5. REMOVE EXISTING PARTITION WALLS AND CEILING PLASTER AT 10' HIGHER LEVELS.
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24. SALVAGE ITEMS NOT LISTED FOR REINSTALLATION ARE TO BE DELIVERED TO THE OWNER FOR REUSE OR DISPOSAL.		24. REMOVE EXISTING PARTITION WALLS AND CEILING PLASTER AT 10' HIGHER LEVELS.	24. REMOVE EXISTING PARTITION WALLS AND CEILING PLASTER AT 10' HIGHER LEVELS.
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27. SALVAGE ITEMS NOT LISTED FOR REINSTALLATION ARE TO BE DELIVERED TO THE OWNER FOR REUSE OR DISPOSAL.		27. REMOVE EXISTING PARTITION WALLS AND CEILING PLASTER AT 10' HIGHER LEVELS.	27. REMOVE EXISTING PARTITION WALLS AND CEILING PLASTER AT 10' HIGHER LEVELS.
28. SALVAGE ITEMS NOT LISTED FOR REINSTALLATION ARE TO BE DELIVERED TO THE OWNER FOR REUSE OR DISPOSAL.		28. REMOVE EXISTING PARTITION WALLS AND CEILING PLASTER AT 10' HIGHER LEVELS.	28. REMOVE EXISTING PARTITION WALLS AND CEILING PLASTER AT 10' HIGHER LEVELS.
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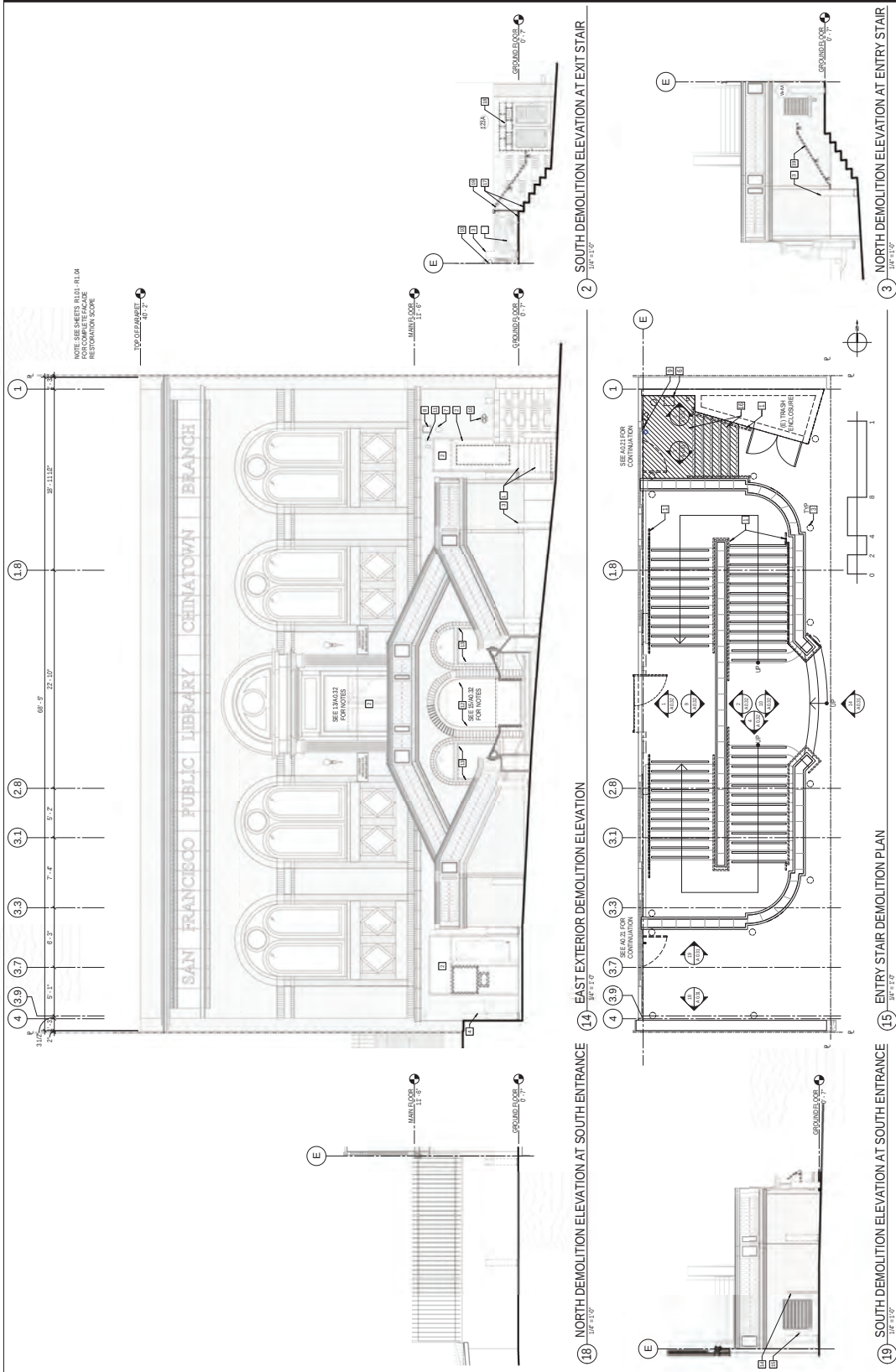
For Approval - Design Director & City Architect
John Laine - Design Director & City Architect
Approved

REVISIONS TO DRAWING: (FROM PROJECT) (DATE) (BY) (DATE) (BY)

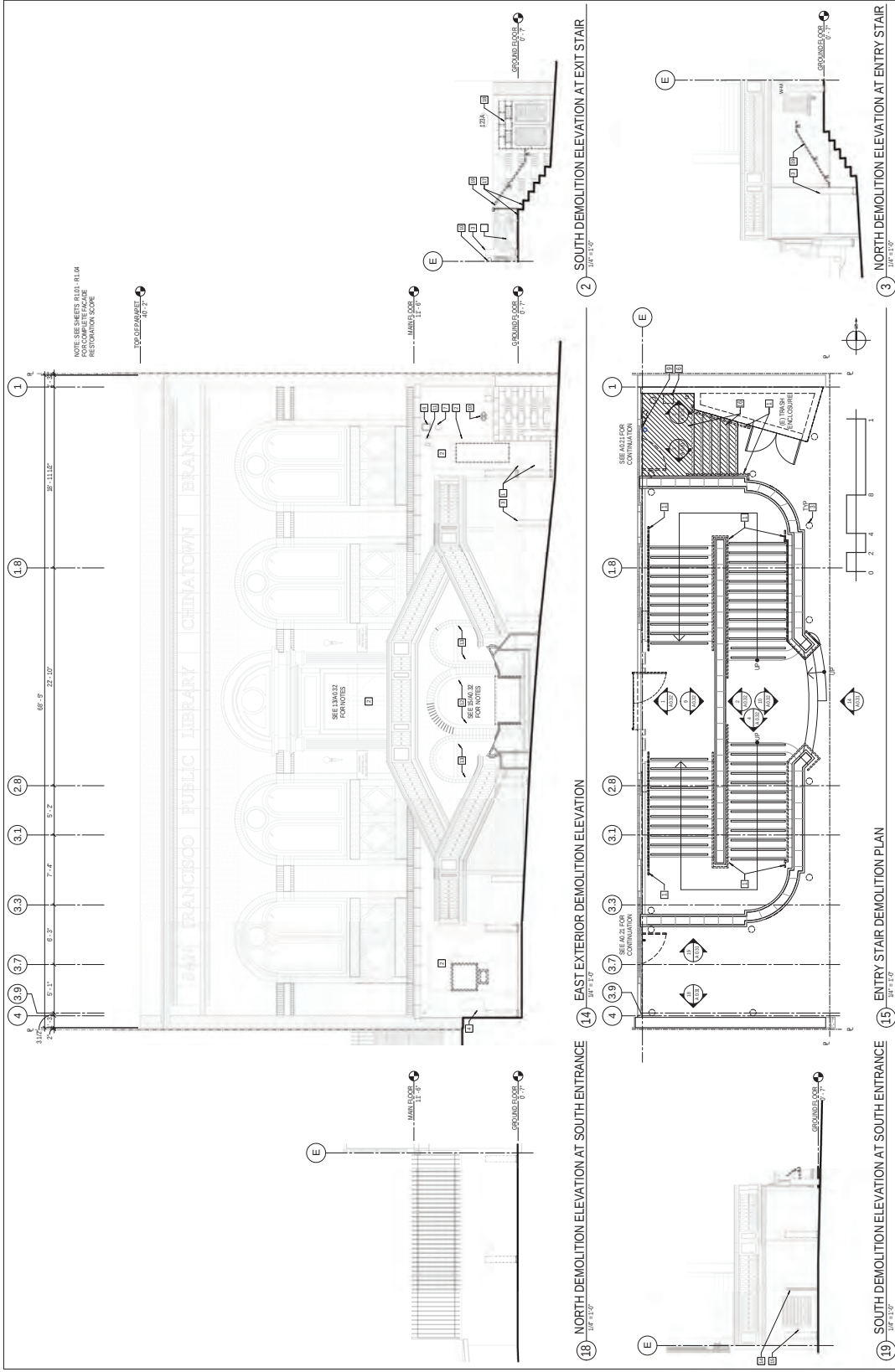
CHINATOWN BRANCH

DESIGNED BY
SAN FRANCISCO CA 94108

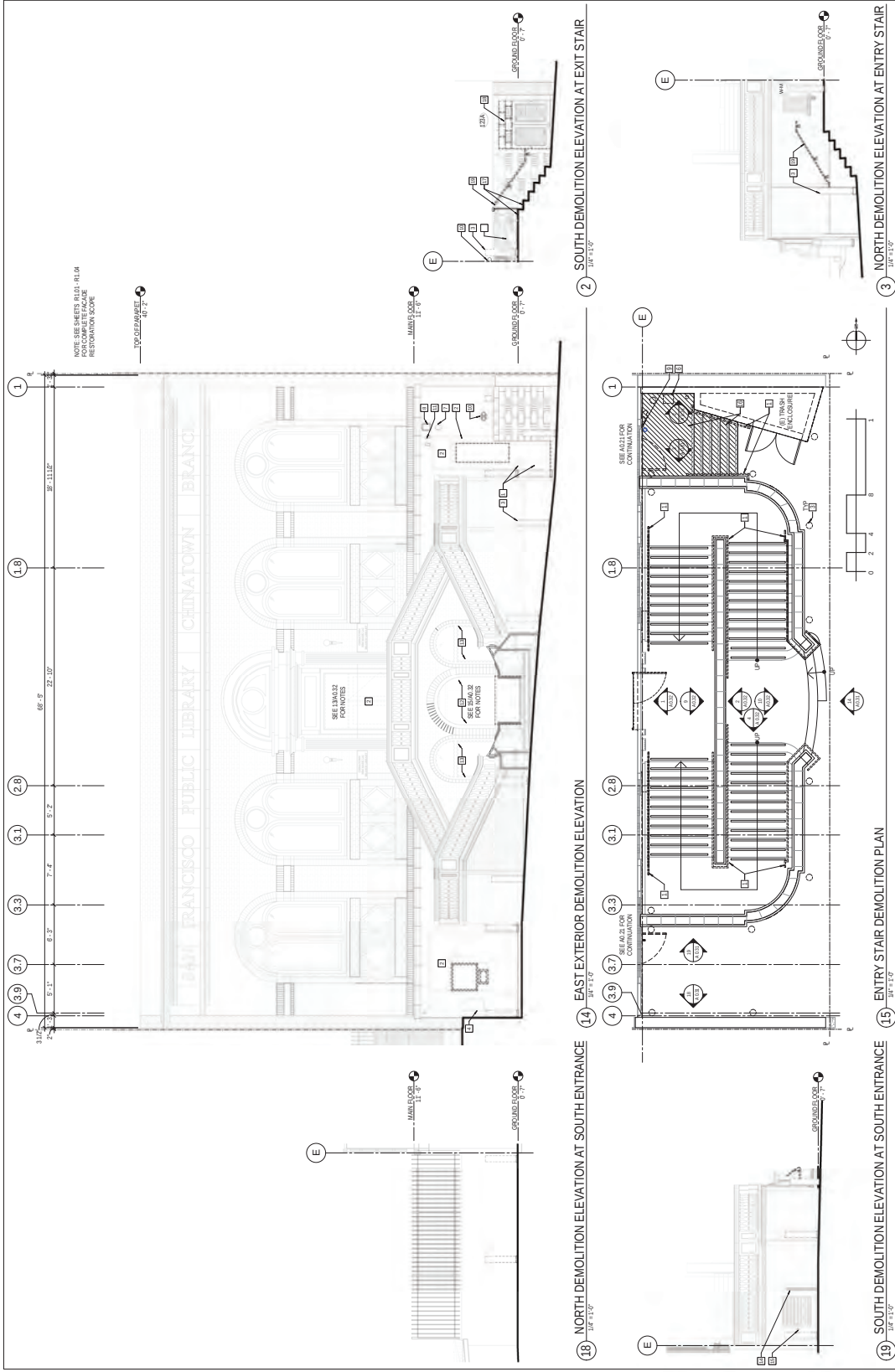
Consultant



SHEET NOTES		KEY NOTES	LEGEND
1. REVERT TO ORIGINAL PRESERVATION DRAWINGS (R/S) IN THIS SET FOR ADDITIONAL DETAIL REGARDING EXISTENT OF 2. REVERT TO PROTECT SPECIFICATIONS FOR ADDITIONAL SPECIFICATIONS REGARDING DEMOLITION, REPAIR, AND REPLACEMENT 3. DEMOLITION SHALL BE DONE WITH CARE TO PROTECT EXISTING WORK TO REMAIN. 4. WHERE EXISTING WALLS OR STRUCTURES ARE TO BE REMOVED, THE REMOVAL SHALL BE DONE IN A MANNER THAT DOES NOT 5. AS NOT TO DAMAGE ADJACENT CONSTRUCTION TO REMAIN. SPECIFICALLY INDICATED 6. REPAIRS OR RECONSTRUCTION SHALL BE DONE IN A MANNER THAT DOES NOT DAMAGE ADJACENT CONSTRUCTION TO REMAIN. 7. DO NOT CONSTRUCT NEW WALLS OR STRUCTURES IN THE EXISTING FOOTPRINT OF THE BUILDING. 8. BARRICADES FOR WORK IN OR ADJACENT TO PUBLIC SPACES OR OCCUPIED SPACES. 9. SPECIFICATIONS OR DRAWINGS. 10. RECONSTRUCTION SHALL BE DONE IN A MANNER THAT DOES NOT DAMAGE ADJACENT CONSTRUCTION TO REMAIN.		1. REMOVE (E) HANGINGS 2. REMOVE (E) HANGINGS 3. REMOVE (E) HANGINGS 4. REMOVE (E) HANGINGS 5. REMOVE (E) HANGINGS 6. REMOVE (E) HANGINGS 7. REMOVE (E) HANGINGS 8. REMOVE (E) HANGINGS 9. REMOVE (E) HANGINGS 10. REMOVE (E) HANGINGS 11. REMOVE (E) HANGINGS 12. REMOVE (E) HANGINGS 13. REMOVE (E) HANGINGS 14. REMOVE (E) HANGINGS	1. HALF-TONE LINES INDICATE EXISTING CONSTRUCTION TO REMAIN 2. DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE DEMOLISHED 3. EXISTING BRICK MASONRY



SHEET NOTES		KEY NOTES		LEGEND	
1. REFER TO HISTORIC PRESERVATION DRAWINGS IN THIS SET FOR ADDITIONAL DETAIL REGARDING EXISTENT OF DEMOLITION.		1. REMOVE (E) HANGINGS		1. HALF-TONE LINES INDICATE EXISTING CONSTRUCTION TO REMAIN	
2. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL SPECIFICATIONS REGARDING DEMOLITION, REPAIR, AND REPLACEMENT OF DEMOLITION.		2. REMOVE (E) HANGINGS		2. DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE DEMOLISHED	
3. WHERE EXISTING WALLS ARE TO BE REMOVED, THE REMOVAL OF EACH WALL OR BRICK IS TO BE COMPLETED AND DEMOLITION SHALL BE DONE WITH CARE TO PROTECT EXISTING WORK TO REMAIN.		3. REMOVE (E) HANGINGS		3. EXISTING BRICK MASONRY	
4. WHERE EXISTING WALLS ARE TO BE REMOVED, THE REMOVAL OF EACH WALL OR BRICK IS TO BE COMPLETED AND DEMOLITION SHALL BE DONE WITH CARE TO PROTECT EXISTING WORK TO REMAIN.		4. REMOVE (E) HANGINGS			
5. AS NOT TO DAMAGE ADJACENT CONSTRUCTION TO REMAIN, SPECIFICALLY INDICATED AREAS OF THE DEMOLITION SHALL BE COMPLETED AND DEMOLITION SHALL BE DONE WITH CARE TO PROTECT EXISTING WORK TO REMAIN.		5. REMOVE (E) HANGINGS			
6. REUSE OF MATERIALS IN THE DEMOLITION SHALL BE COMPLETED AND DEMOLITION SHALL BE DONE WITH CARE TO PROTECT EXISTING WORK TO REMAIN.		6. REMOVE (E) HANGINGS			
7. DO NOT REMOVE EXISTING MATERIALS FROM THE PROJECT SITE UNLESS THEY ARE DAMAGED OR OTHERWISE UNUSABLE. MATERIALS TO BE REMOVED SHALL BE COMPLETED AND DEMOLITION SHALL BE DONE WITH CARE TO PROTECT EXISTING WORK TO REMAIN.		7. REMOVE (E) HANGINGS			
8. BARRICADES FOR WORK IN OR ADJACENT TO PUBLIC SPACES OR OCCUPANCY ARE IN PLACE. PROVIDE CONSTRUCTION SPECIFICATIONS OR DRAWINGS.		8. REMOVE (E) HANGINGS			
9. REPRESENTATIVE REMOVE OR RETAIN ITEMS AS DIRECTED BY CITY REPRESENTATIVE.		9. REMOVE (E) HANGINGS			



SHEET NOTES		KEY NOTES		LEGEND	
1. REFER TO HISTORIC PRESERVATION DRAWINGS IN THIS SET FOR ADDITIONAL DETAIL REGARDING EXISTENT OF DEMOLITION.		1. REMOVE (E) HANGINGS		1. HALF-TONE LINES INDICATE EXISTING CONSTRUCTION TO REMAIN	
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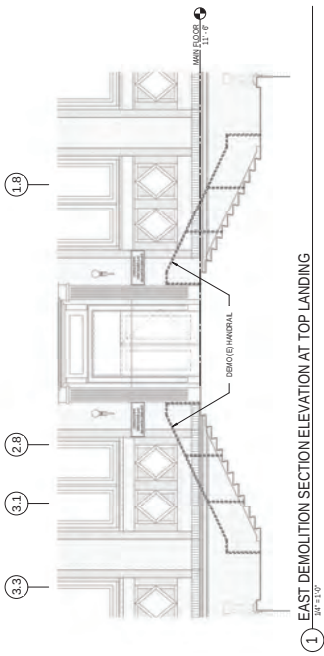
Rosa Almeida - Deputy Director & City Architect
Julia Laine - Director of Design & Program
Architect

445 CALIFORNIA STREET, SUITE 1000, SAN FRANCISCO, CA 94104
PHONE: (415) 376-3000 FAX: (415) 376-3001

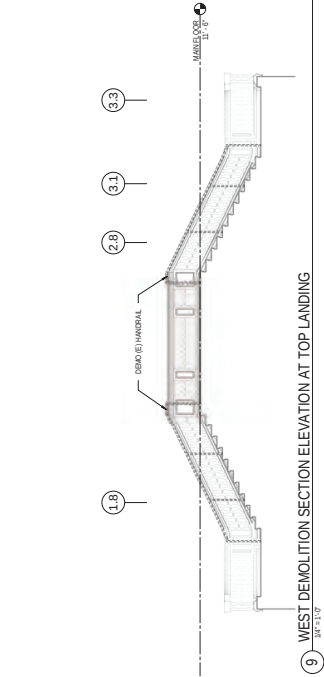
CHINATOWN BRANCH

DESIGNED BY
SAN FRANCISCO
CITY & COUNTY

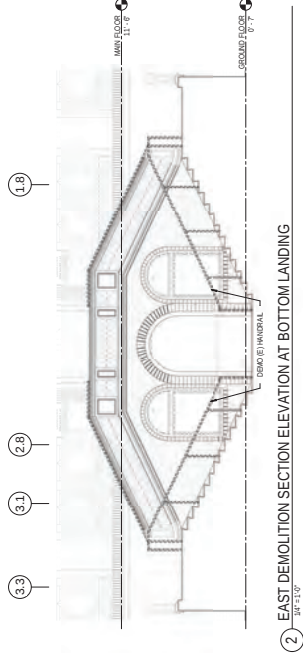
CONSULTANT



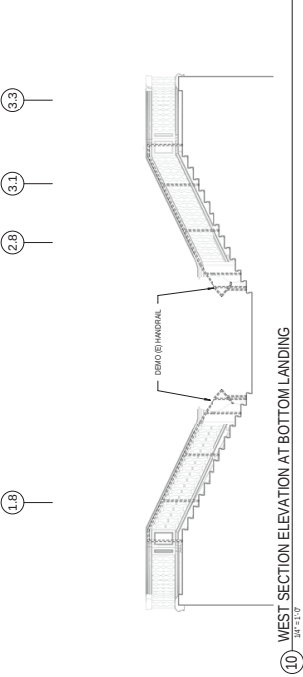
1 EAST DEMOLITION SECTION ELEVATION AT TOP LANDING
1/4" = 1'-0"



9 WEST DEMOLITION SECTION ELEVATION AT TOP LANDING
1/4" = 1'-0"

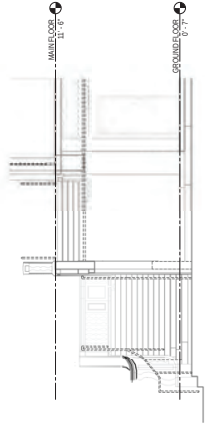


2 EAST DEMOLITION SECTION ELEVATION AT BOTTOM LANDING
1/4" = 1'-0"



10 WEST SECTION ELEVATION AT BOTTOM LANDING
1/4" = 1'-0"

E D 9



3 NORTH DEMOLITION SECTION
1/4" = 1'-0"

SHEET NOTES

1. THE BUILDING IS A HISTORIC PROPERTY AND THE LANDMARK DESIGNATIONS EXTEND THROUGH THE ENTIRE BUILDING. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE SAN FRANCISCO HISTORIC PRESERVATION COMMISSION'S REGULATIONS AND THE ARCHITECT'S REQUIREMENTS.
2. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE SAN FRANCISCO HISTORIC PRESERVATION COMMISSION'S REGULATIONS AND THE ARCHITECT'S REQUIREMENTS.
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KEY NOTES

9. PROVIDE DEMOLITION PERMITS WHERE REQUIRED.
10. VERIFY ALL CONDITIONS AS REQUIRED BY SPECIFICATIONS OR DRAWINGS.
11. VERIFY ALL CONDITIONS AS REQUIRED BY SPECIFICATIONS OR DRAWINGS.
12. VERIFY ALL CONDITIONS AS REQUIRED BY SPECIFICATIONS OR DRAWINGS.
13. VERIFY ALL CONDITIONS AS REQUIRED BY SPECIFICATIONS OR DRAWINGS.
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20. VERIFY ALL CONDITIONS AS REQUIRED BY SPECIFICATIONS OR DRAWINGS.
21. VERIFY ALL CONDITIONS AS REQUIRED BY SPECIFICATIONS OR DRAWINGS.
22. VERIFY ALL CONDITIONS AS REQUIRED BY SPECIFICATIONS OR DRAWINGS.

LEGEND

- HALF-TONE LINES INDICATE EXISTING CONSTRUCTION TO REMAIN
- POUNDED LINES INDICATE EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING BRICK MASONRY

ENTRY STAR DEMOLITION SECTION ELEVATIONS

Sheet No. A0.32

Scale: AS SHOWN



CERTIFICATE OF APPROPRIATENESS 11/10/2023

No.	Date	Revised
1	11/10/2023	NEW DESIGN

Drawing Title



Ron Armbride - Deputy Director & City Architect
Julia Laine - Director of Design & Program
Architect

445 CALIF. STREET, SUITE 1000 SAN FRANCISCO, CA 94102
PHONE: (415) 376-3000 FAX: (415) 376-3001

CHINTOWN BRANCH

DESIGNED BY
SAN FRANCISCO BUREAU OF ARCHITECTURE

CONSULTANT

FILED 10/11/2011 10:00 AM

CERTIFICATE OF APPROPRIATENESS 11/10/2023

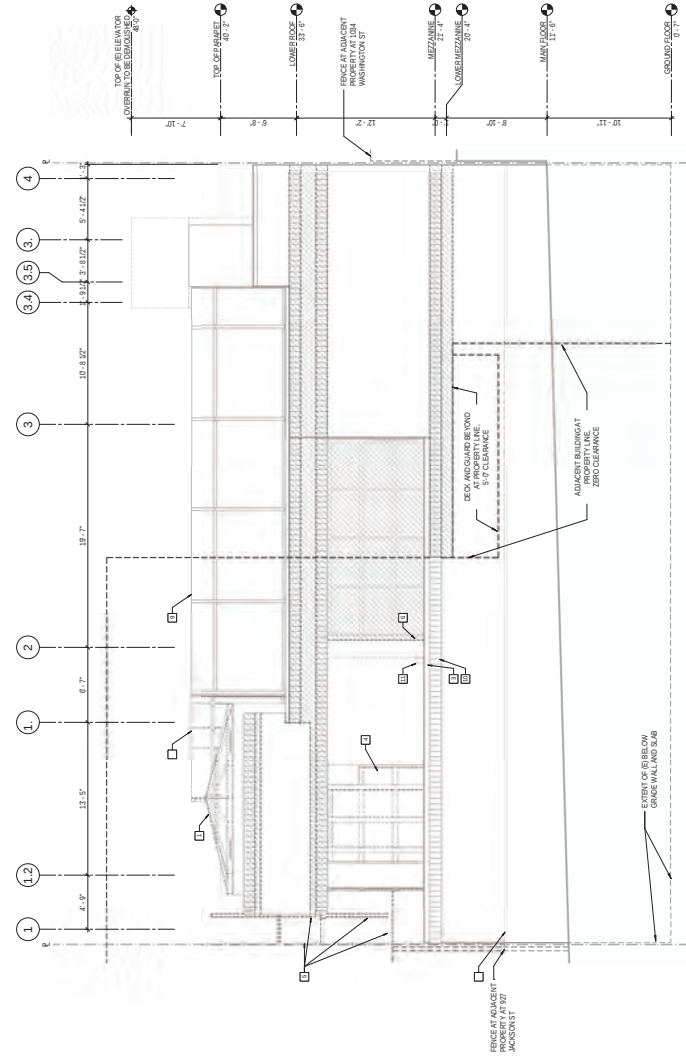
No.	Date	Revision

NOT FOR CONSTRUCTION

Drawn By: _____
Checked By: _____
Date: _____

WEST DEMOLITION BUILDING
ELEVATION

Sheet No. **A.0.34**
Scale: 1/4" = 1'-0"



1 WEST DEMOLITION BUILDING ELEVATION
1/4" = 1'-0"

1. ALL EXTERIOR ELEMENTS TO REMAIN, UNLESS NOTED OTHERWISE.
2. PROTECT EXISTING ELEMENTS FROM DAMAGE DURING DEMOLITION.
3. PROTECT ADJACENT PROPERTIES DURING DEMOLITION AT ALL TIMES.

SHEET NOTES

- THE BUILDING IS A HISTORIC PROPERTY AND THE LADYMAN, BECAUSE OF ITS HISTORIC SIGNIFICANCE, IS A CONTRIBUTING ELEMENT TO THE HISTORIC DISTRICT. THE BUILDING SHOULD BE DEMOLISHED IN A MANNER THAT PRESERVES ITS HISTORIC CHARACTER AND VALUE. THE DEMOLITION SHOULD BE COMPLETED BY THE DATE OF THE WORK WITH THE CITY REPRESENTATIVE, REMOVAL OF THE MAIN FLOOR AS SPECIFIED BY THE REPRESENTATIVE.
- ALL WINDOWS AND DOORS ON THIS ELEVATION ARE LANDMARKED AND ALL FINISHES IN THE AREA ARE TO BE CAREFULLY REMOVED AND STORED FOR REUSE OR RECYCLING. THE DEMOLITION SHOULD BE COMPLETED BY THE DATE OF THE WORK WITH THE CITY REPRESENTATIVE, REMOVAL OF THE MAIN FLOOR AS SPECIFIED BY THE REPRESENTATIVE.
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KEY NOTES

- REMOVE (B) SKYLIGHT
- REMOVE (B) EXISTING ROOFING SYSTEM
- REMOVE (B) EXISTING ROOFING AND EPS WALL SYSTEM FOR NEW
- REMOVE (B) EXISTING ROOFING AND EPS WALL SYSTEM FOR NEW
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LEGEND

- HAUT-ONE LINE INDICATE EXISTING CONSTRUCTION TO REMAIN
- HAUT-ONE LINE INDICATE EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING BRICK MASONRY
- REMOVE (B) EXISTING ROOFING AND EPS WALL SYSTEM FOR NEW
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Ron Almeida - Deputy Director & City Architect
Julia Laue - Bureau Manager & Principal Architect

CHINATOWN BRANCH

1135 POWELL STREET
SAN FRANCISCO CA 94109

Conclusion

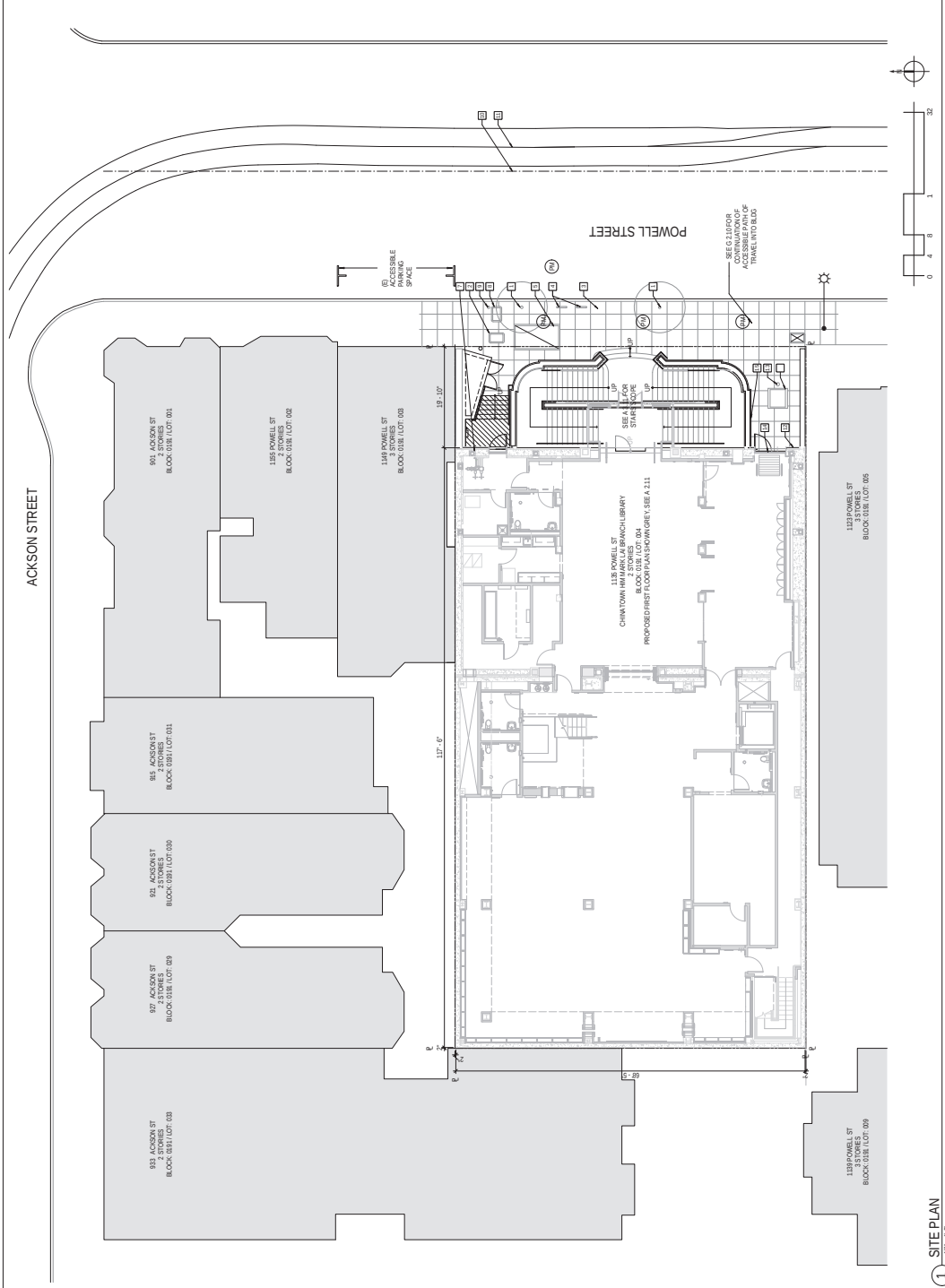
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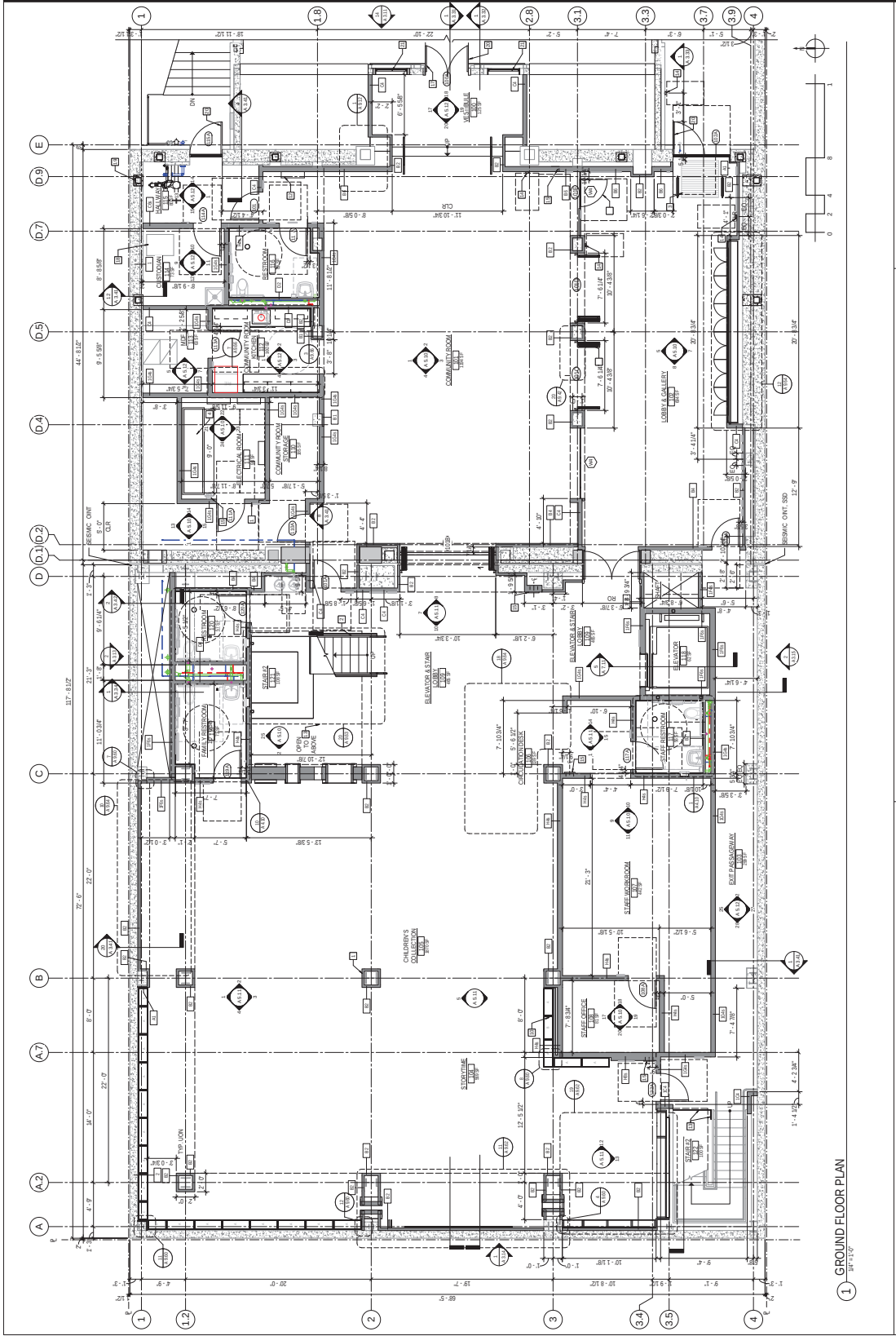
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Drawing Title

SITE PLAN

Sheet No. **A1.11**

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SHEET NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS PRIOR TO CONSTRUCTION.
2. PROVIDE SURFACE MOUNTED FIRE EXTINGUISHER UNLESS NOTED OTHERWISE. PROVIDE SPACE FOR FLYER CABINETS.
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7. PROVIDE SURFACE MOUNTED FIRE EXTINGUISHER UNLESS NOTED OTHERWISE. PROVIDE SPACE FOR FLYER CABINETS.

KEY NOTES

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LEGEND

- NEW PARTITION WALLS
- EXISTING PARTITION WALLS
- EXISTING CONCRETE WALLS
- EXISTING MASONRY WALLS



For America - Design Director & City Architect
John L. Lurie - Design Director & City Architect
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CHINATOWN BRANCH

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Consultant

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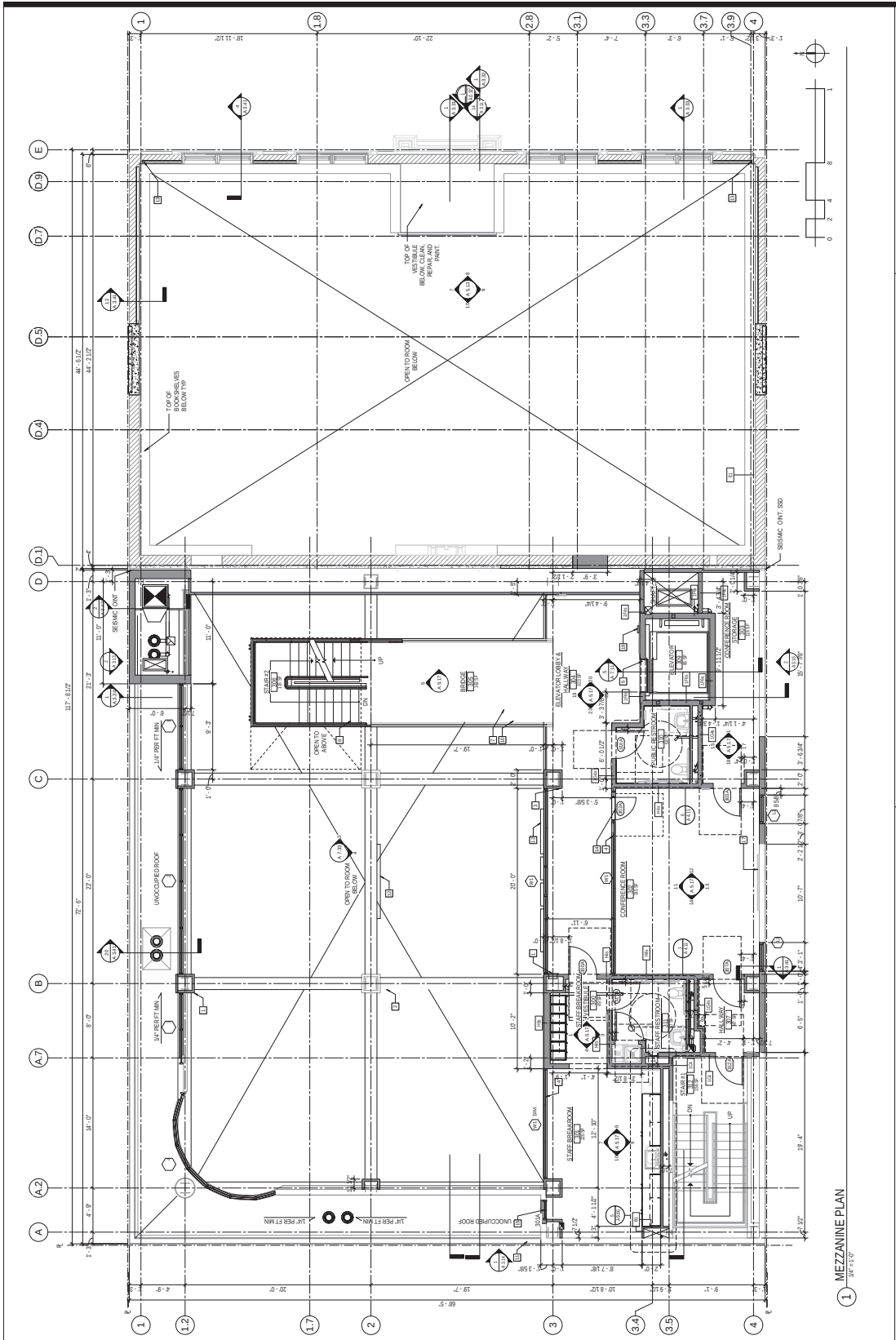
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1	1/18/2023	NEW WORK



Drawing Title

MEZZANINE PLAN

Sheet No. A2.13
Scale: AS SHOWN



1 MEZZANINE PLAN
1/4" = 1'-0"

SHEET NOTES

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- PROVIDE SURFACE MOUNTED FIRE EXTINGUISHER UNLESS NOTED OTHERWISE. PROVIDE ONE FIRE EXTINGUISHER PER ROOM.
- PROVIDE ONE (1) FIRE EXTINGUISHER PER ROOM UNLESS NOTED OTHERWISE. PROVIDE ONE (1) FIRE EXTINGUISHER PER ROOM.
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KEY NOTES

1. REINFORCING AT COLUMN
2. IN BRANCHED TYPE
3. IN BRANCHED TYPE
4. IN ALUM. FRAMED GLAZING, TYP.
5. IN MACHINERY ROOMS (UNLESS NOTED OTHERWISE) PROVIDE ONE (1) FIRE EXTINGUISHER PER ROOM.
6. IN MACHINERY ROOMS (UNLESS NOTED OTHERWISE) PROVIDE ONE (1) FIRE EXTINGUISHER PER ROOM.
7. IN MACHINERY ROOMS (UNLESS NOTED OTHERWISE) PROVIDE ONE (1) FIRE EXTINGUISHER PER ROOM.
8. IN MACHINERY ROOMS (UNLESS NOTED OTHERWISE) PROVIDE ONE (1) FIRE EXTINGUISHER PER ROOM.
9. IN KITCHENETTE WITH CABINETS BELOW AND ABOVE COUNTER
10. IN GLASS WALL
11. IN GLASS WALL
12. REINFORCING AT COLUMN
13. SDO FOR SHEAR WALL CONSTRUCTION
14. IN MACHINERY ROOMS (UNLESS NOTED OTHERWISE) PROVIDE ONE (1) FIRE EXTINGUISHER PER ROOM.
15. PREPARED ROOF ACCESS DOOR. SEE DOOR SCHEDULE.

LEGEND

- NEW PARTITION WALLS
- EXISTING PARTITION WALLS
- EXISTING CONCRETE WALLS
- EXISTING MASONRY WALLS



Plan Architect - Design Director & City Architect
John L. Lutz - Design Director & City Architect
Architect - Designer - Planner - Engineer - Architect
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SAN FRANCISCO, CA 94108

CHINATOWN BRANCH

DESIGNED BY
SAN FRANCISCO CA 94108

Consultant

CERTIFICATE OF APPROPRIATENESS 1/10/2023

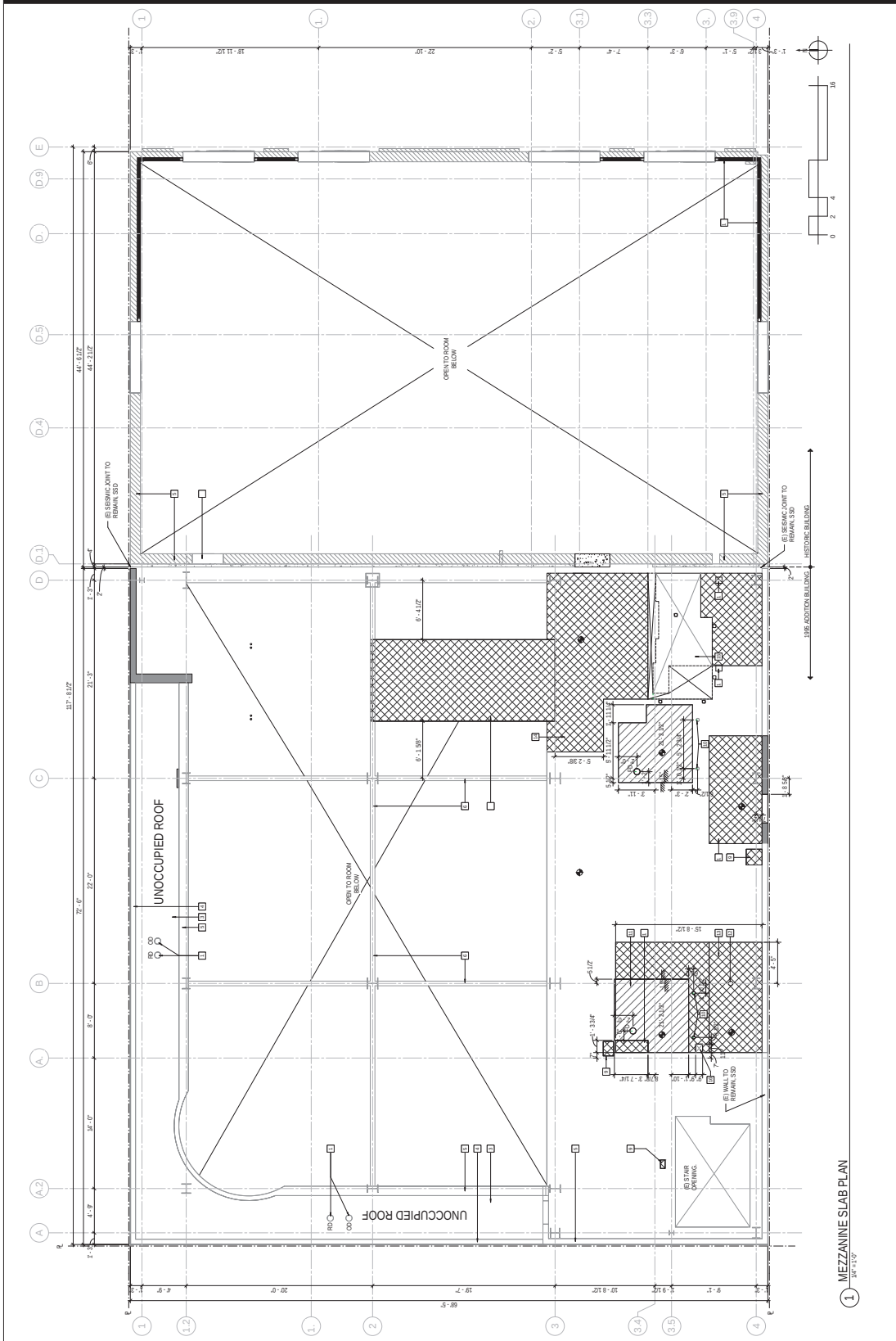
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NOT FOR CONSTRUCTION

MEZZANINE SLAB PLAN

Sheet No. A2.23

Scale: 1/4" = 1'-0"



1 MEZZANINE SLAB PLAN
1/4" = 1'-0"

SHEET NOTES

- COORDINATE WITH CITY REPRESENTATIVE PRIOR TO FLOOR BOX AND/OR POSE.
- FLOOR BOX LOCATIONS FOR SPECIALIZED EQUIPMENT SUCH AS FLOOR CLOSERS, VENTILATION, AND ARCHITECT.
- COORDINATE WITH PLUMBING DRAWINGS THE EXACT LOCATION FOR PIPE PENETRATIONS THROUGH SLABS.
- APPLY CONCRETE FILL TO (E) CONCRETE ROOF SLOPES SHOWN ON A2.24 TO ADJUST TO 1/4" SLOPE DRAINAGE.
- PROVIDE REINFORCED CONCRETE FILL TO ALL LEVELS AND/OR CONSTRUCTION AND ABOVE COMPACTED AGGREGATE DRAINAGE MATERIAL LAYERS PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE CONTINUOUS BENTONITE WATERSTOP TAPES AT ALL JOINTS TO DRAINAGE JOINTS.
- CONDUIT PATHWAYS IN SLAB ARE NOT SHOWN BUT REQUIRE COORDINATION WITH ELECTRICAL ENGINEER. ALL CONDUIT SHALL BE RATED FOR 100% VOLTAGE PATHWAYS SHOULD BE ASSUMED AND A LOT SHOULD BE COORDINATED WITH VENDOR AND DESIGN TEAM PRIOR TO CONSTRUCTION.

LEGEND

- | | | | |
|----|---------------------------------------|---|---|
| 14 | STRUCTURAL WALL, INTERIOR, S.D. | EXISTING SLAB | SLAB STEP |
| 15 | ELEV AND SHIRT OPENING, SEE A7 | NEW WALL, SLAB TO ADJACENT SLAB ELEVATIONS, CON. S.D. | ELEVATION POINT |
| 16 | MECHANICAL OPENING, S.D. | NEW WALL, SLAB TO ADJACENT FLOOR ELEVATION, S.D. | FLOOR BOX, TO MATCH ADJACENT FLOOR ELEVATION, S.D. |
| 17 | LIVING SLAB FORMER COLUMN | NEW WALL, SLAB TO ADJACENT FLOOR ELEVATION, S.D. | FLOOR BOX, TO MATCH EXISTING ADJACENT FLOOR ELEVATION, S.D. |
| 18 | STRUCTURAL WALL, S.D. | NEW EQUIPMENT CONC. PAD, S.D. | POKE THRU, S.D. S.D. S.D. S.D. FOR EXACT LOCATION |
| 19 | STRUCTURAL WALL, AT FORMER | NEW OPENING IN EXISTING CONC. PAD, S.D. | NEW OPENING FOR ROOF DRAIN / OVERFLOW |
| 20 | STRUCTURAL WALL, AT FORMER | NEW OPENING IN EXISTING CONC. PAD, S.D. | NEW OPENING FOR ROOF DRAIN / OVERFLOW |
| 21 | TOILET DISPERSED, SPOT FOR PRE & POST | EXISTING OPENING TO REMAIN, S.D. | EXISTING OPENING FOR ROOF DRAIN / OVERFLOW |
| 22 | TOILET DISPERSED, SPOT FOR PRE & POST | EXISTING OPENING TO REMAIN, S.D. | EXISTING OPENING FOR ROOF DRAIN / OVERFLOW |
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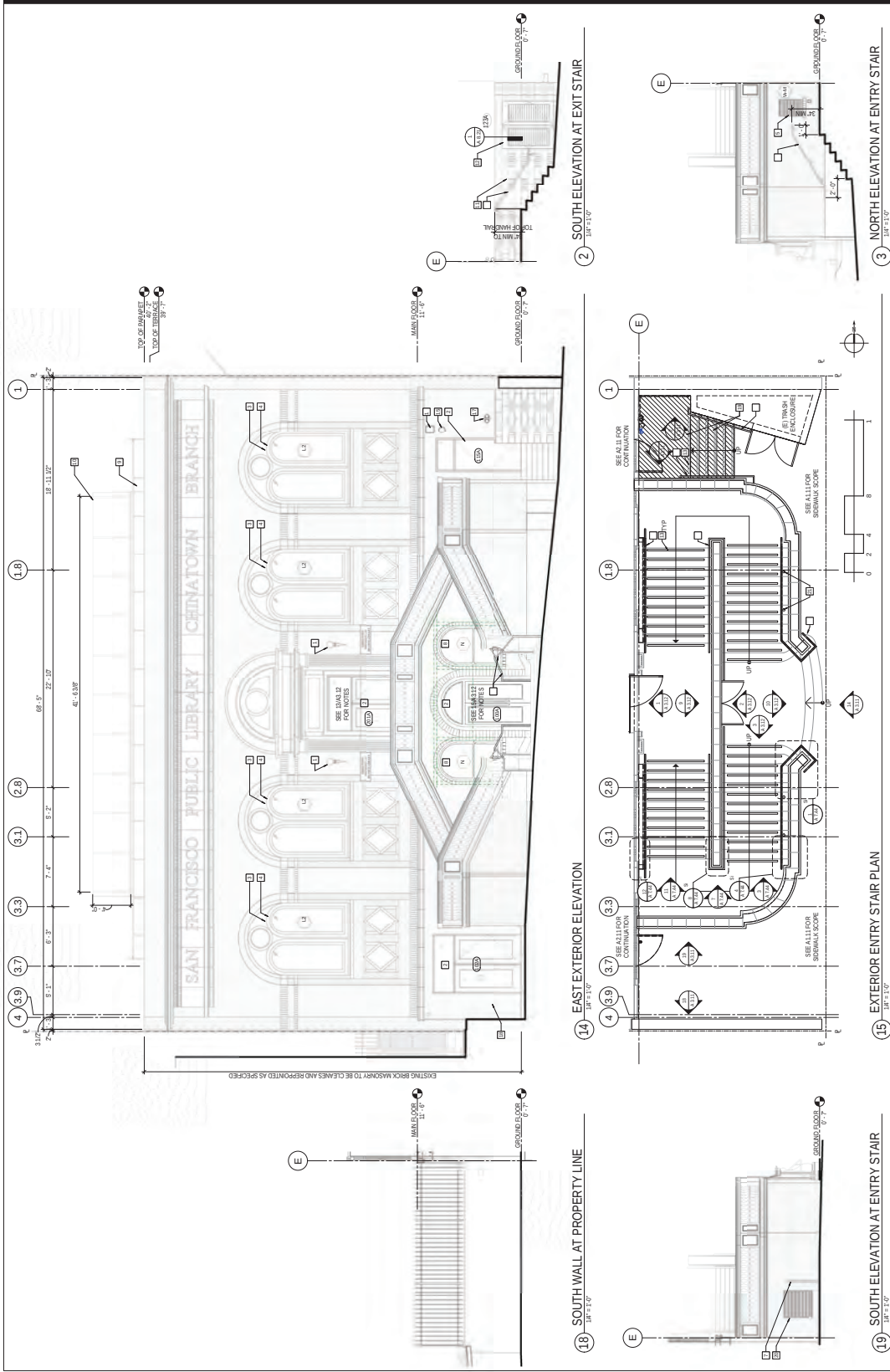


For Approval - Design Director & City Architect
John Laine - Design Director & City Architect
RECEIVED: 10/10/2023 10:00 AM
PROJECT: 2023-000001

CHINATOWN BRANCH

DESIGNED BY
SAN FRANCISCO CA 94108

CONSULTANT



SHEET NOTES

1. EXISTING BRICK MASONRY TO BE REPAIRED, CLEANED, AND WITH NEW MORTAR. BRICKS TO BE REPLACED IN ORIGINAL LOCATION AT CONCLUSION OF FACADE RESTORATION.
2. ALL EXISTING SURFACES TO BE CLEANED PRIOR TO REPAIR RESTORATION/PAINING. SEE SPICS

KEY NOTES

1. (B) HISTORIC LIGHT FIXTURES TO BE SALVAGED, REFINISHED, AND REINSTALLED.
2. (N) ENTRY AND LOBBY OPENING REPAIRS AS REQUIRED TO REPAIR.
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LEGEND

- EXISTING BRICK MASONRY
- MAINTENANCE LINE TO BE EXISTING CONSTRUCTION TO REMAIN

EAST BUILDING ELEVATION ENTRY STAIR PLAN

Sheet No. A 3.11

Scale: AS SHOWN



CERTIFICATE OF APPROPRIATENESS 12/18/2023

No.	Date	Revised
1	12/18/2023	12/18/2023

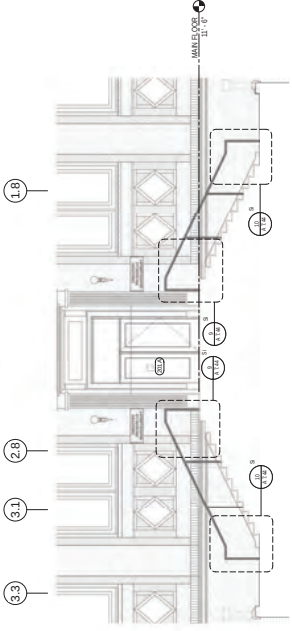


For Approval - Deputy Director & City Architect
John Lamm - Department of Public Works
Architect
100 CALIFORNIA STREET, SUITE 1000
SAN FRANCISCO, CA 94108

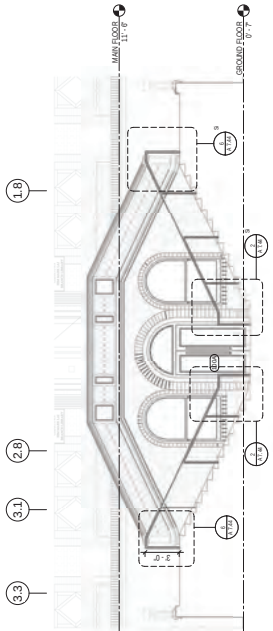
CHINATOWN BRANCH

1125 POWELL STREET
SAN FRANCISCO, CA 94108
CONSULTANT

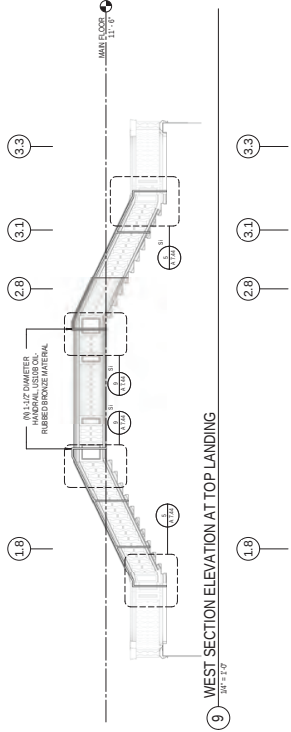
1 EAST ELEVATION AT ENTRY STAIR TOP LANDING



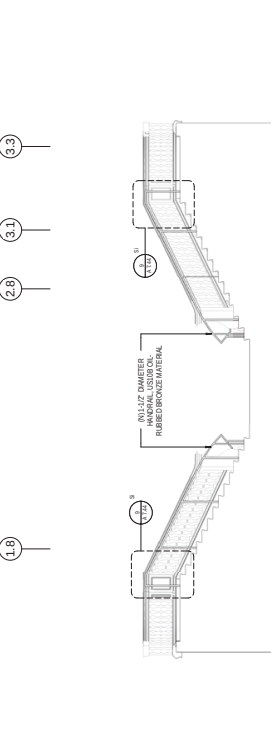
2 EAST ELEVATION AT ENTRY STAIR BOTTOM LANDING



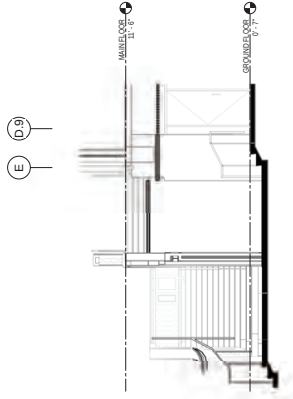
10 WEST SECTION ELEVATION AT BOTTOM LANDING



9 WEST SECTION ELEVATION AT TOP LANDING



3 NORTH SECTION ELEVATION



SHEET NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
2. CRACKS AND CRIPS AS SPECIFIED IN SPECIFICATION SECTION 01050 HISTORIC TERRAZZO SHALL BE REPAIRED PRIOR TO REPAIR RESTORATION PAINTING. SEE SPECS.
3. ENTIRE TERRAZZO FACADE ON ALL FOUR ELEVATIONS SHALL BE REPAIRED PER SPECIFICATION SECTION 01050 HISTORIC TERRAZZO. REPAIR SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
4. GENERAL PAINTING AND ORGANIC GROWTH: REPAIR ORGANIC GROWTH FROM TERRAZZO FACADE. REPAIR ORGANIC GROWTH FROM TERRAZZO FACADE. REPAIR ORGANIC GROWTH FROM TERRAZZO FACADE.
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9. ALL (B) TO REMAIN SURFACES TO BE CLEANED PRIOR TO REPAIR RESTORATION PAINTING. SEE SPECS.

KEY NOTES

LEGEND

- EXISTING BRICK MASONRY
- REPAIR (B) CONC
- IN EPS SYSTEM ON (B) TILES, SEE / WP 2.0
- IN EPS SYSTEM OVER CLEANED (B) EPS, SEE / WP 2.0
- IN DRAINABLE EPS SYSTEM, SEE / WP 2.2

ENTRY STAIR SECTION ELEVATIONS

Sheet No. A 3.12

Scale: As Indicated

Drawing Date: 2/20/2020

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No.	Date	Revised
1	12/18/2023	NEW MARK





San Francisco - Deputy Director & City Architect
John L. ...
San Francisco, CA 94102

CHINATOWN BRANCH

DEPARTMENT OF PUBLIC WORKS
SAN FRANCISCO, CA 94102

Consultant

NO. DATE REVIEWER

CERTIFICATE OF APPROPRIATENESS 17/10/2023

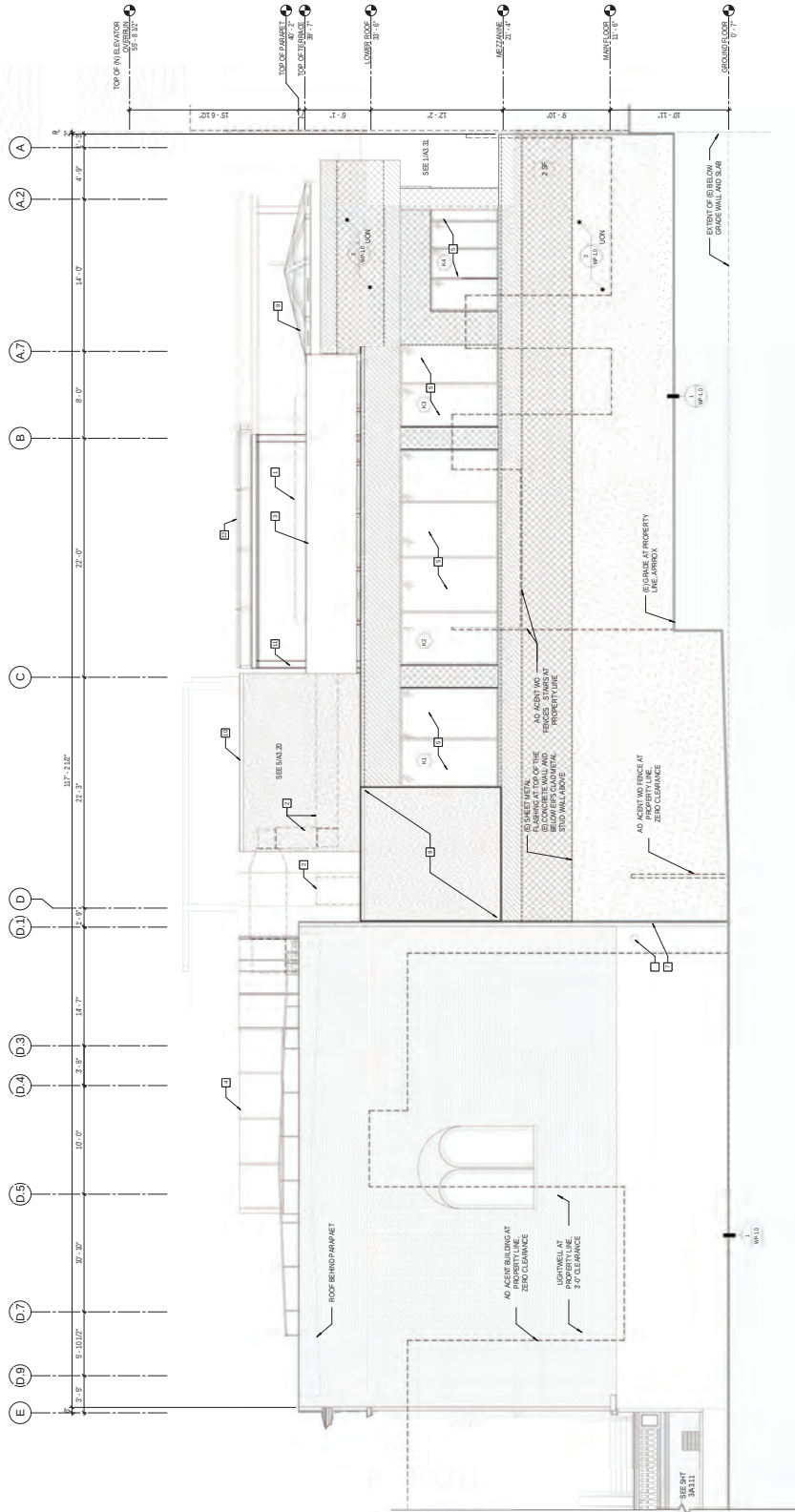


NORTH BUILDING ELEVATION

Sheet No. A 3.13

Scale: AS SHOWN

Original Sheet Size: 30" x 42"



2 NORTH BUILDING ELEVATION
3/4" = 1'-0"

SHEET NOTES

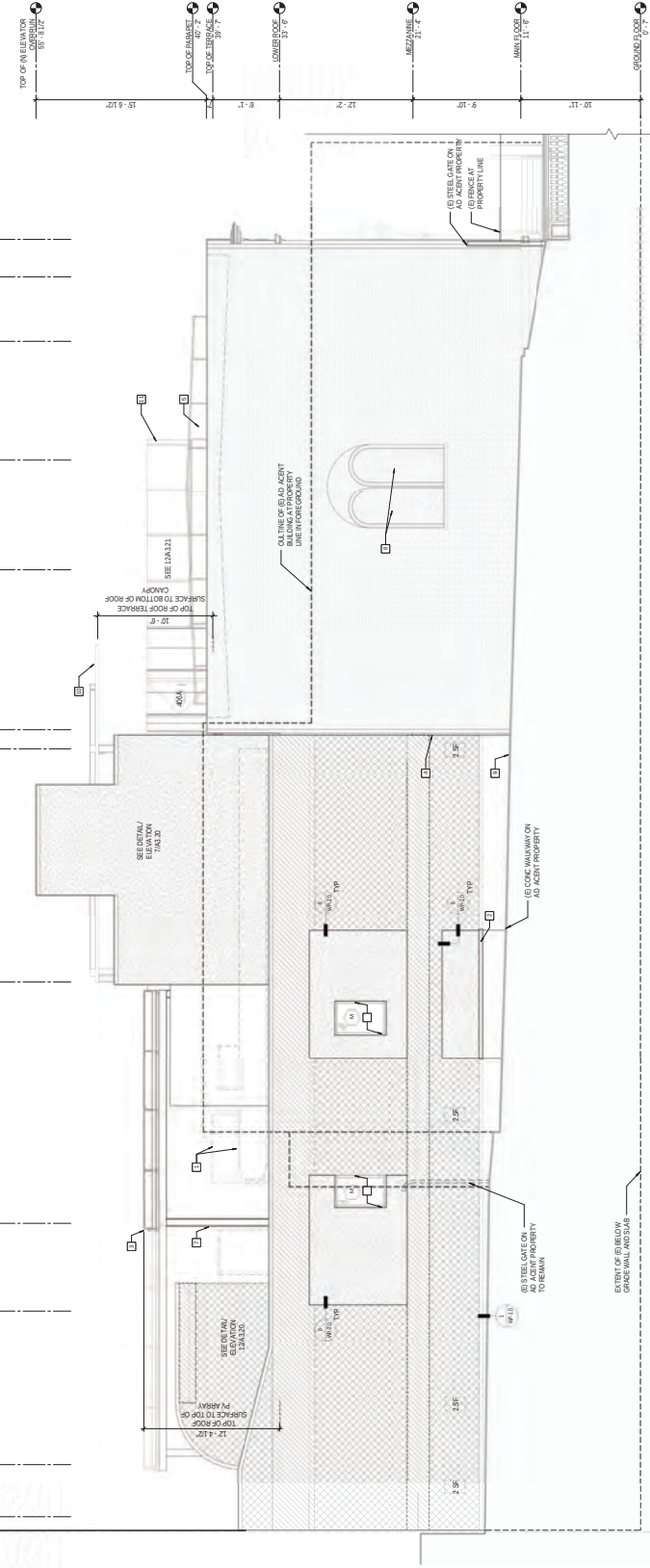
1. ALL TO BE REPAIRED AND REFINISHED TO MATCH EXISTING MATERIALS AND FINISHES.
2. ALL TO BE REPAIRED AND REFINISHED TO MATCH EXISTING MATERIALS AND FINISHES.
3. ALL TO BE REPAIRED AND REFINISHED TO MATCH EXISTING MATERIALS AND FINISHES.
4. ALL TO BE REPAIRED AND REFINISHED TO MATCH EXISTING MATERIALS AND FINISHES.
5. ALL TO BE REPAIRED AND REFINISHED TO MATCH EXISTING MATERIALS AND FINISHES.
6. ALL TO BE REPAIRED AND REFINISHED TO MATCH EXISTING MATERIALS AND FINISHES.
7. ALL TO BE REPAIRED AND REFINISHED TO MATCH EXISTING MATERIALS AND FINISHES.
8. ALL TO BE REPAIRED AND REFINISHED TO MATCH EXISTING MATERIALS AND FINISHES.
9. ALL TO BE REPAIRED AND REFINISHED TO MATCH EXISTING MATERIALS AND FINISHES.
10. ALL TO BE REPAIRED AND REFINISHED TO MATCH EXISTING MATERIALS AND FINISHES.
11. ALL TO BE REPAIRED AND REFINISHED TO MATCH EXISTING MATERIALS AND FINISHES.
12. ALL TO BE REPAIRED AND REFINISHED TO MATCH EXISTING MATERIALS AND FINISHES.

KEY NOTES

1. IN MECHANICAL EQUIPMENT SHED
2. IN MECHANICAL EQUIPMENT SHED
3. IN MECHANICAL EQUIPMENT SHED
4. IN MECHANICAL EQUIPMENT SHED
5. IN MECHANICAL EQUIPMENT SHED
6. IN MECHANICAL EQUIPMENT SHED
7. IN MECHANICAL EQUIPMENT SHED
8. IN MECHANICAL EQUIPMENT SHED
9. IN MECHANICAL EQUIPMENT SHED
10. IN MECHANICAL EQUIPMENT SHED
11. IN MECHANICAL EQUIPMENT SHED
12. IN MECHANICAL EQUIPMENT SHED

LEGEND

- EXISTING BRICK MASONRY
- REPAIR (B) CONC
- IN EPS SYSTEM ON (B) STUDS
- IN EPS SYSTEM OVER CLEANED (B) EPS
- IN DRAINABLE EPS SYSTEM



2 SOUTH BUILDING ELEVATION
1/4" = 1'-0"

[illegible]

CERTIFICATE OF APPROPRIATENESS 12/18/2023

NOT FOR CONSTRUCTION

PM	_____
PA	_____
Drawn	_____
Checked	_____
Greater	_____

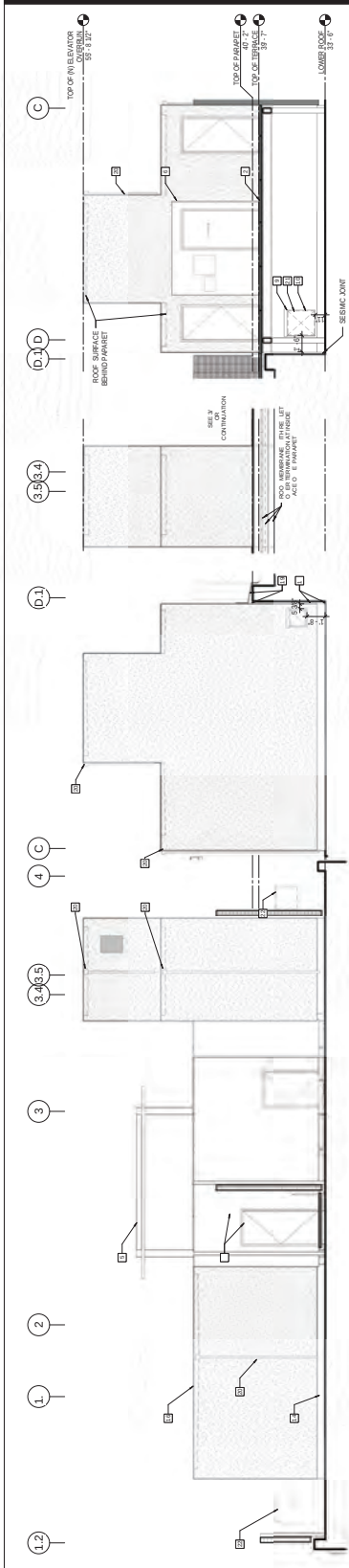
SOUTH BUILDING ELEVATION

Sheet No. A3.15

Scale

Original Sheet Size: 30" x 42"

SHEET NOTES		KEY NOTES		LEGEND	
1. ALL TO REMAIN SURFACES TO BE CLEANED PRIOR TO REPAIR RESTORATION PAINTING. SEE SHEETS 101-102 FOR FACING. INCLUDING EPS INSULATION, REMOVE ANY BIOLOGICAL GROWTH AND CLEAN ANY STAINING.		1. MECHANICAL EQUIPMENT, SMOKE EXHAUST, ELEVATOR, ETC. WALL UNDER (N) METAL STUD WALL, SEE DETAIL.		 EXISTING BRICK MASONRY	
2. ALL REPAIR AND RESTORATION SHALL BE DONE IN ACCORDANCE WITH THE REPAIR MANUAL FOR EPS RESTORATION.		3. PHOTOVAL TWC PANELS SHALL BE INSTALLED OVER THE EXISTING BRICK MASONRY.		 PHOTOVAL TWC PANELS	
3. ALL EPS TO BE REPAIRED, RESTORED AND REPAINTED. SEE WAP DRAWINGS FOR EPS RESTORATION.		4. GLASSHALL, 7' x 4' RF		 REPAIR PAINT IS CONCRETE	
4. DAMAGE REPAIR AND OVER ASSEMBLY DETAIL. SEE DETAIL.		5. 1-1/2" RATED GLAZED ASSEMBLY COMPLEX WITH ASTN EL19		 (N) EPS SYSTEM ON (B) STUDS, SEE 1 WAP 2.0	
5. CEMENT PLASTER, STUCCO TO BE CUSTOM COLOR AS SELECTED BY ARCHITECT.		6. (N) 1-1/2" RATED GLAZED ASSEMBLY COMPLEX WITH ASTN EL19		 (N) EPS SYSTEM OVER CLEANED (B) EPS, SEE 2 WAP 2.0	
		7. PHOTOVAL TWC PANELS SUPPORT COLUMNS		 (N) DRAINABLE EPS SYSTEM, SEE 2 WAP 2.2	
		8. (B) EPS WALL PANELS TO REMAIN, REPAIR, REPAINT AND REPAIR DETAIL. SEE DETAIL.			
		9. TERMINATION BAR AND FASTENERS WITH (N) COUNTER FLASHING OVER STUDS			
		10. OVER STUDS			
		11. GLASS WALL SCREEN, 7'-2" AFF			

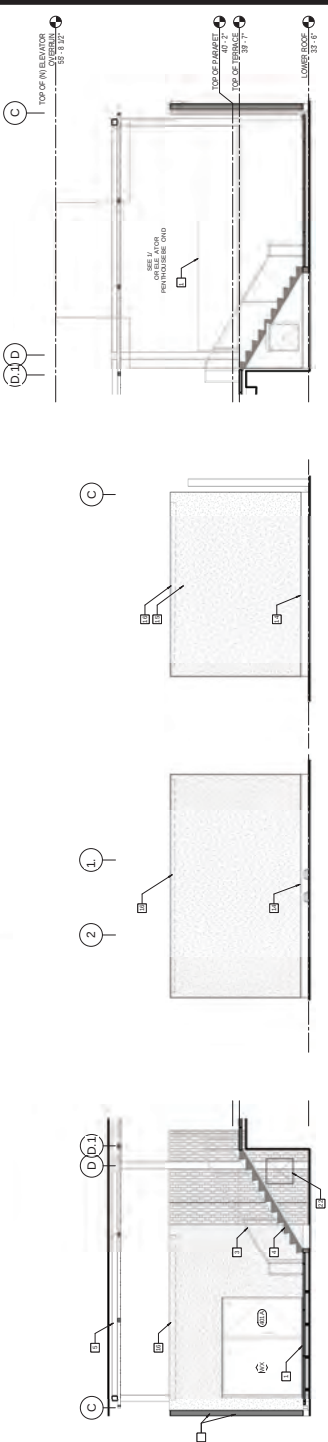


10 ELEVATOR & STAIR PENTHOUSE #2 - WEST
1/4" = 1'-0"

7 ELEVATOR PENTHOUSE - SOUTH
1/4" = 1'-0"

4 ELEVATOR PENTHOUSE - EAST
1/4" = 1'-0"

1 ELEVATOR PENTHOUSE - NORTH
1/4" = 1'-0"

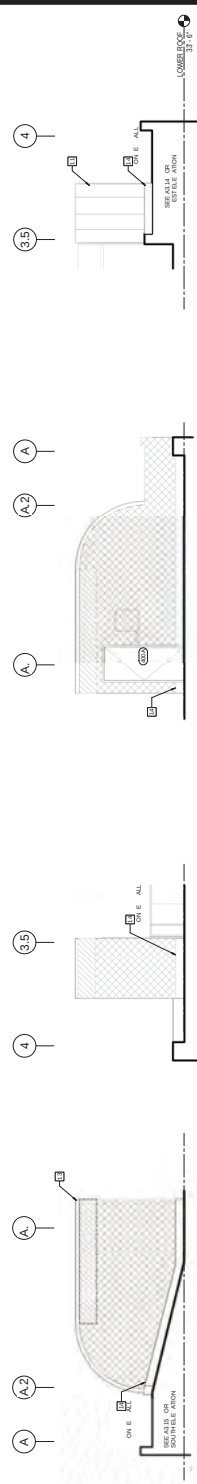


11 STAIR PENTHOUSE #2 - SOUTH
1/4" = 1'-0"

8 STAIR PENTHOUSE #2 - EAST
1/4" = 1'-0"

5 STAIR PENTHOUSE #2 - NORTH
1/4" = 1'-0"

2 ELEVATOR PENTHOUSE FROM STAIR #2 PENTHOUSE - NORTH
1/4" = 1'-0"



12 STAIR PENTHOUSE #1 - SOUTH
1/4" = 1'-0"

9 STAIR PENTHOUSE #1 - EAST
1/4" = 1'-0"

6 STAIR PENTHOUSE #1 - NORTH
1/4" = 1'-0"

3 STAIR PENTHOUSE #1 - WEST
1/4" = 1'-0"

SHEET NOTES

KEY NOTES

LEGEND

- 1 LOW PROFILE POWER REESTABLISHMENT SYSTEM
- 2 PAVES OVER STEEL GRATING
- 3 PAVES OVER STEEL GRATING
- 4 OPEN STEEL TRILLER WITH NO COVERING ABOVE
- 5 STEEL GRATING
- 6 FRANK & KAY
- 7 GSN #4-0 FLASHING, SOLIDIFIED BNC-CAPS
- 8 GSN #4-0 FLASHING, SOLIDIFIED BNC-CAPS
- 9 GSN #4-0 FLASHING, SOLIDIFIED BNC-CAPS
- 10 GSN #4-0 FLASHING, SOLIDIFIED BNC-CAPS
- 11 GSN #4-0 FLASHING, SOLIDIFIED BNC-CAPS
- 12 GSN #4-0 FLASHING, SOLIDIFIED BNC-CAPS
- 13 GSN #4-0 FLASHING, SOLIDIFIED BNC-CAPS
- 14 GSN #4-0 FLASHING, SOLIDIFIED BNC-CAPS
- 15 GSN #4-0 FLASHING, SOLIDIFIED BNC-CAPS
- 16 GSN #4-0 FLASHING, SOLIDIFIED BNC-CAPS
- 17 GSN #4-0 FLASHING, SOLIDIFIED BNC-CAPS
- 18 GSN #4-0 FLASHING, SOLIDIFIED BNC-CAPS

- 19 REGLET & PARAPET FLASHING OVER SESAME DRAIN COVER
- 20 CONDUCTION BRICK & RAIN WATER LEADER
- 21 CONDUCTION BRICK & RAIN WATER LEADER
- 22 MED DUCT, SAND

- EXISTING BRICK MASONRY
- REPAIR (E) CONC
- (N) EPS SYSTEM ON (B) STUDS.
- SEE IN WP 2.0
- SEE IN WP 2.0
- (N) EPS SYSTEM OVER CLEANED (E) EPS.
- SEE IN WP 2.0
- (N) DRAINABLE EPS SYSTEM
- SEE IN WP 2.0

ROOF EXTERIOR ELEVATIONS

Sheet No.

A 3.20

Scale: AS SHOWN

NOT FOR CONSTRUCTION

CERTIFICATE OF APPROPRIATENESS 12/18/2023

No. 0000
Date 12/18/2023
Project Name CHINTOWN BRANCH
Drawing Title

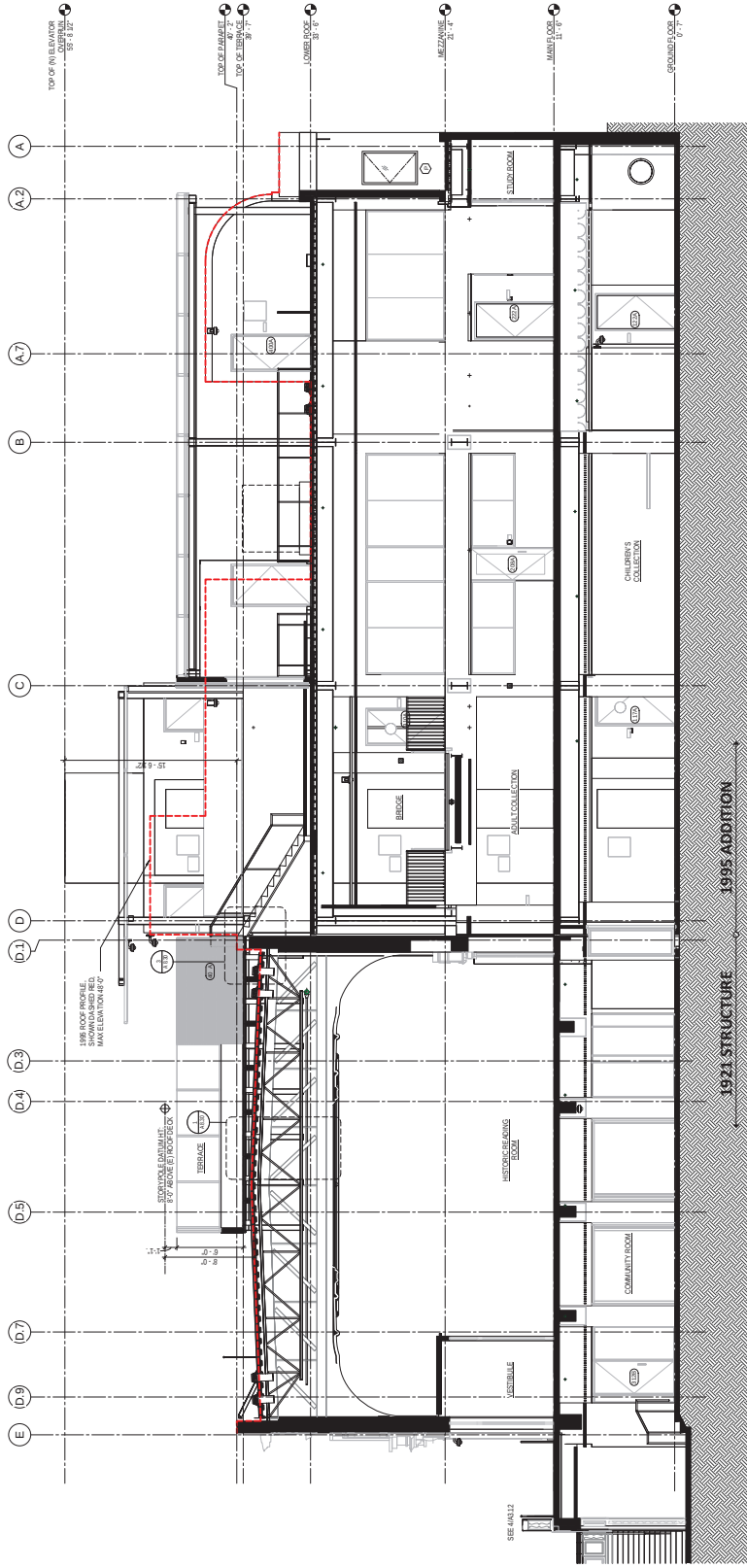


Rosa Almeida - Deputy Director & City Architect
John Laine - Director of Engineering & Inspection
Approved
445 BAY STREET, SUITE 200 SAN FRANCISCO, CA 94102
PHONE: (415) 376-3100 FAX: (415) 376-3101

CHINATOWN BRANCH

DESIGNED BY
SAN FRANCISCO CA 94108

Consultant



1. BUILDING SECTION (LOOKING SOUTH)
1/4" = 1'-0"

SHEET NOTES

KEY NOTES

LEGEND

BUILDING SECTIONS

A 3.31

Scale: 1/4" = 1'-0"

No.		DATE	REVISION

CERTIFICATE OF APPROPRIATENESS 11/18/2023

NOT FOR CONSTRUCTION	
DATE	11/18/2023
BY	
FOR	
DESIGNED BY	
CHECKED BY	
DATE	

Drawing Title

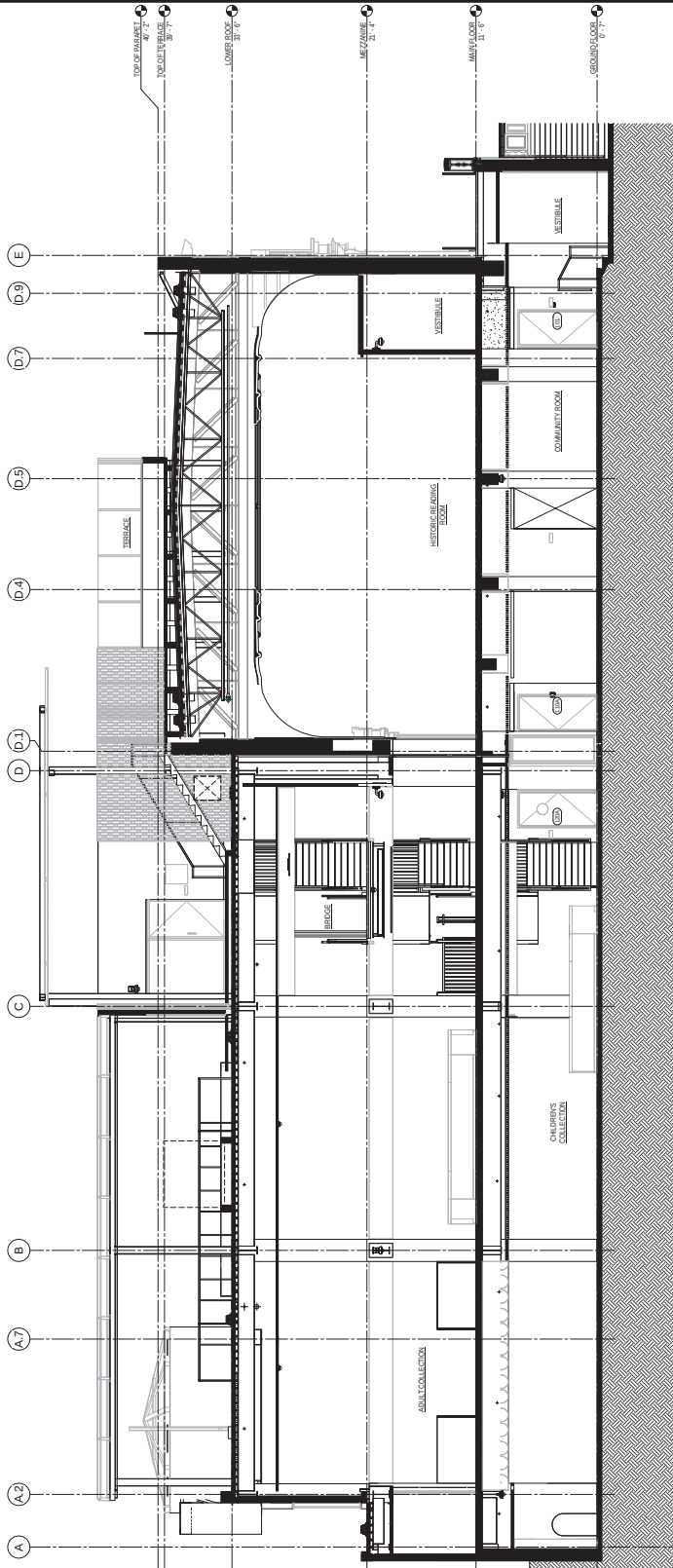


Ron Almeida - Deputy Director & City Architect
John Laine - Director of Engineering & Inspection
Approved
OFFICIAL CITY ENGINEER - JAMES J. LANE
FEB 10 2023 11:00AM
PROJECT NO. 2023-01-00001

CHINATOWN BRANCH

DEPOSED, CIVIL
SAN FRANCISCO, CA 94108

Consultant



1 BUILDING SECTION (LOOKING NORTH)
1/8" = 1'-0"

SHEET NOTES

KEY NOTES

LEGEND

CERTIFICATE OF APPROPRIATENESS 1/10/2023	
No.	DATE
1	10/10/2023
2	
3	
4	
5	
6	
7	
8	
9	
10	



Drawing Title

BUILDING SECTIONS

Sheet No. A 3.32

Scale 1/8" = 1'-0"



For Approval - Design Director & City Architect
John Laine - Design Director & City Architect
445 CALIFORNIA STREET, SUITE 1000, SAN FRANCISCO, CA 94104
PHONE: (415) 376-3000 FAX: (415) 376-3001

CHINATOWN BRANCH

DESIGNED BY
SAN FRANCISCO

CONSULTANT

1 NORTH

2 EAST

3 SOUTH

4 WEST

5 NORTH

6 SOUTH

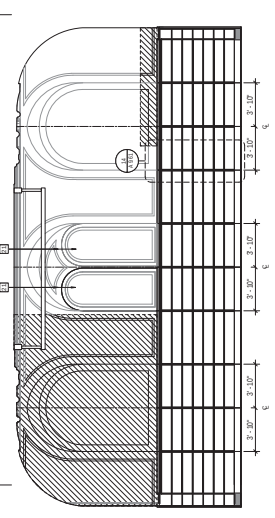
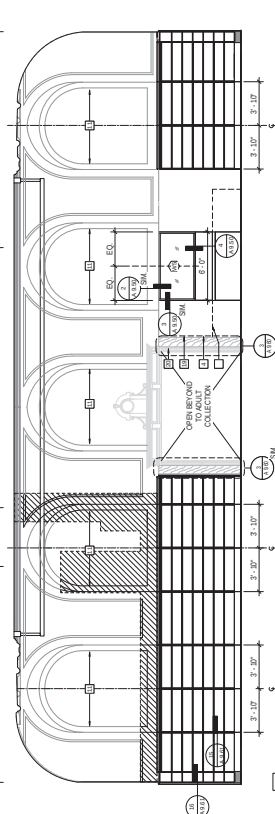
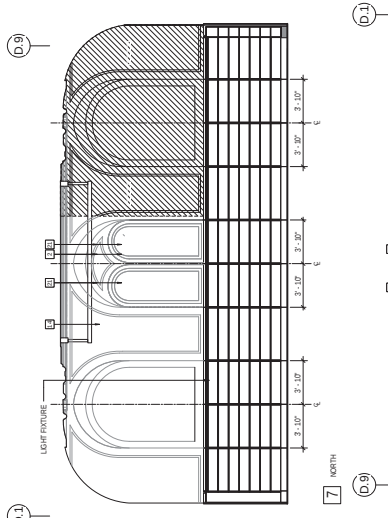
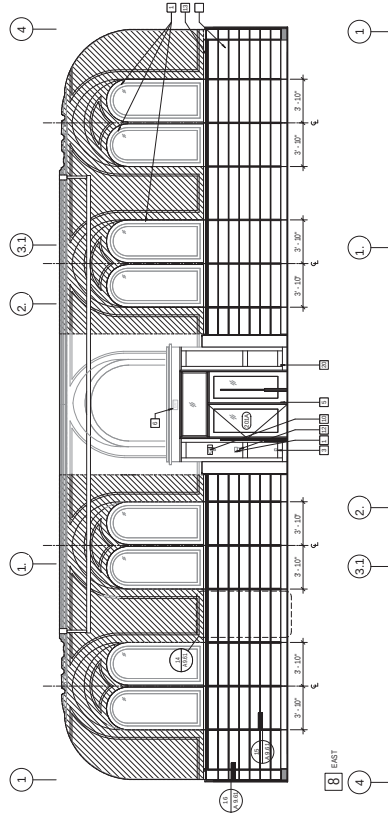
VESTIBULE - 200.

VESTIBULE FROM HISTORIC READING - 201.

1/4" = 1'-0"

1/4" = 1'-0"

1/4" = 1'-0"



9 SOUTH
HISTORIC READING ROOM - 201
1/4" = 1'-0"

SHEET NOTES

KEY NOTES

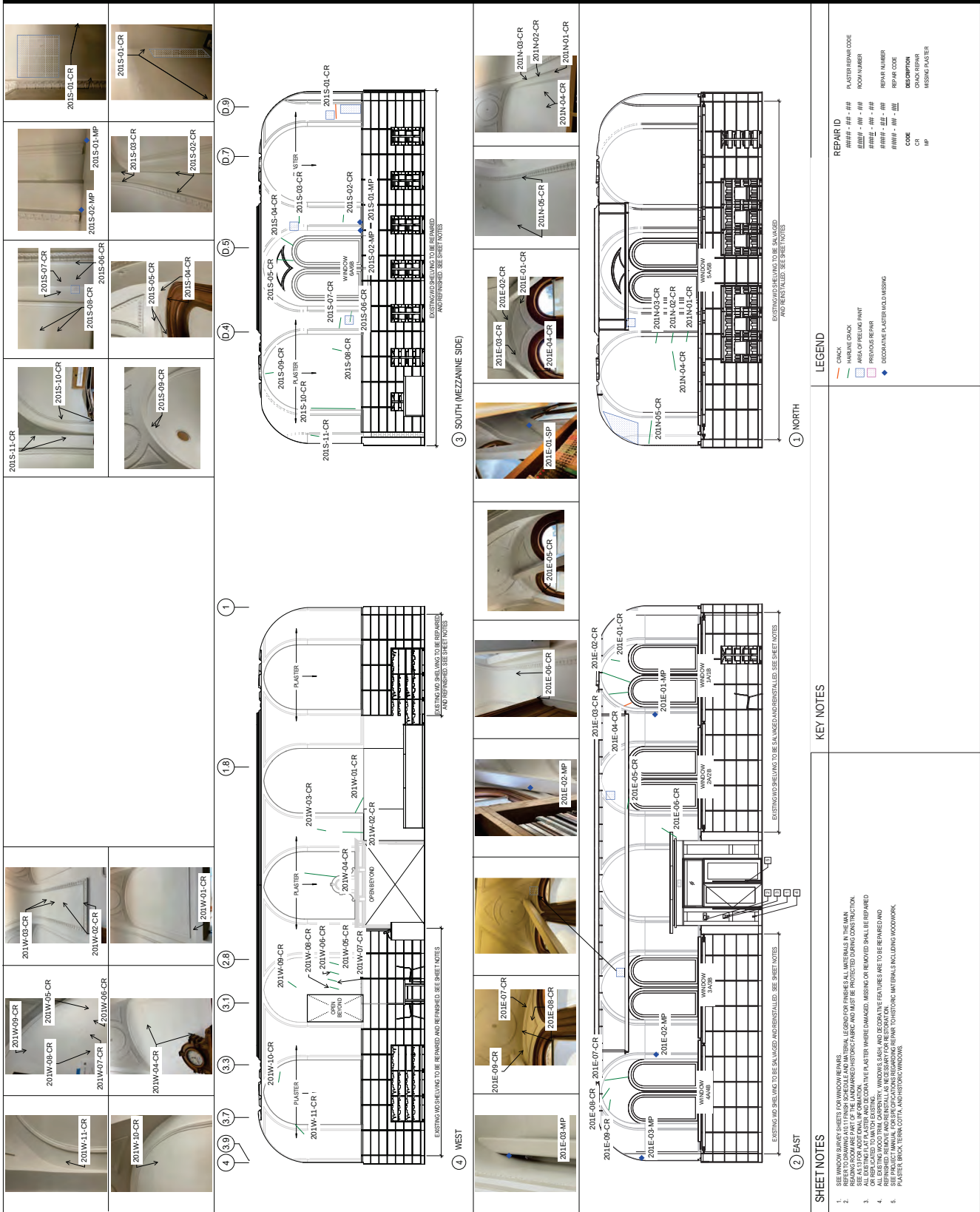
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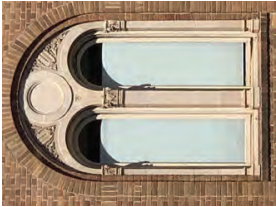
NOT FOR CONSTRUCTION

INTERIOR ELEVATIONS - MAIN FLOOR

A 5.13

Scale: 1/4" = 1'-0"



 WINDOW 60	 WINDOW 59	 WINDOW 58	 WINDOW 57	 EXPOSED TERRAZZO 56
 EXPOSED TERRAZZO 55	 EXPOSED TERRAZZO 54	 GLAZE SPALL 53	 BALUSTER CRACK 52	 BALUSTER CRACK 51
 BALUSTER CRACK 50	 BALUSTER DAMAGE - CLOSE UP 49	 BALUSTER DAMAGE 48	 BALUSTER DAMAGE 47	 BALUSTER DAMAGE 46
 BALUSTER CRACK 45	 BALUSTER DAMAGE 44	 BALUSTER DAMAGE 43	 BRICK PATCHES 42	 JOINT DETERIORATION 41

NOTE: PHOTOGRAPHS ARE INTENDED TO SHOW GENERAL AND SPECIFIC CONDITIONS OF THE EXISTING BUILDING. THE SPALLS AND JOINT DETERIORATION, NOT ALL CONDITIONS HAVE BEEN IDENTIFIED OR SPECIFICALLY CALLED OUT.

Project No.	100000000
Project Name	CHINATOWN BRANCH LIBRARY RENOVATION
Project Address	1335 PEARL STREET, SAN FRANCISCO, CA 94108
Project Date	10/01/2020
Project Status	IN PROGRESS
Project Manager	JOHN LAUER
Project Engineer	JOHN LAUER
Project Architect	JOHN LAUER
Project Designer	JOHN LAUER
Project Draftsman	JOHN LAUER
Project Photographer	JOHN LAUER

CERTIFICATE OF APPROPRIATENESS: 00000003		
No.	Date	Revision

NOT FOR CONSTRUCTION	
Project No.	100000000
Project Name	CHINATOWN BRANCH LIBRARY RENOVATION
Project Address	1335 PEARL STREET, SAN FRANCISCO, CA 94108
Project Date	10/01/2020
Project Status	IN PROGRESS
Project Manager	JOHN LAUER
Project Engineer	JOHN LAUER
Project Architect	JOHN LAUER
Project Designer	JOHN LAUER
Project Draftsman	JOHN LAUER
Project Photographer	JOHN LAUER

CONDITIONS PHOTOGRAPHS	
Sheet No.	R1.05
Scale	1:1000000
Contract ID	100000000
Drawing ID	100000000



Plan Alternatives - Design Director & City Architect
John Lurie - Design Director & City Architect
440 BATTERY STREET, SUITE 1000, SAN FRANCISCO, CA 94102
PHONE: 415.376.3000 FAX: 415.376.3001

CHINATOWN BRANCH LIBRARY
RENOVATION

1155 PARNELL STREET
SAN FRANCISCO, CA 94108



Revised Map
Section Map
Federal Map
NO SCALE

CERTIFICATE OF APPROPRIATENESS 06/03/2023

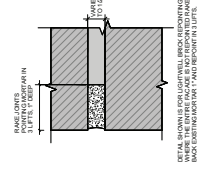
NO. DATE REVISION



DATE 7/8/2023

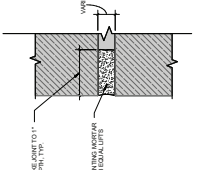
MASONRY REPAIR DETAILS

Sheet No. R1.06
Scale: AS SHOWN
Contract ID: 100000000
Drawing Sheet ID:

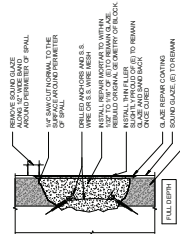


DETAIL SECTION IS FOR LIGHT WELL BRICKWORK REPAIRING
REPAIRING BRICKWORK JOINTS AND SURFACES. REPAIRING
MADE IN DISTRIBUTION AND REPAIRING IN LIGHT
WELL BRICKWORK JOINTS AND SURFACES.

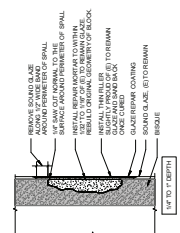
BRICK REPOINTING 4
1/2" x 1/2"



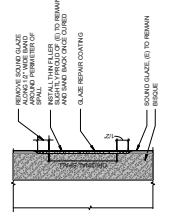
TERRA COTTA REPOINTING 5
1/2" x 1/2"



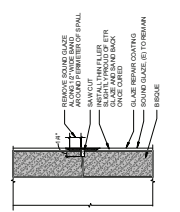
TERRA COTTA BISQUE REPAIR 1
8" x 12"



TERRA COTTA GLAZE REPAIR 2
8" x 12"



TERRA COTTA CRACK REPAIR 3
8" x 12"





Rosa Almeida - Deputy Director & City Architect
Julia Laine - Director of Design & Program
Accident

480 CALIF. UNIVERSITY - PHASE 10/2017 (1/2020) TREANORHL, CA 94103

CHINATOWN BRANCH LIBRARY
RENOVATION

150 POWELL STREET
SAN FRANCISCO, CA 94108

Consultant

TREANORHL

FOR USE ONLY

CERTIFICATE OF APPROPRIATENESS: 06/00/2023

No.	Date	Revision



Drawing Title

EXISTING WOOD WINDOW
SURVEY

Sheet No.

R8.02

Scale: 1/8" = 1'-0"

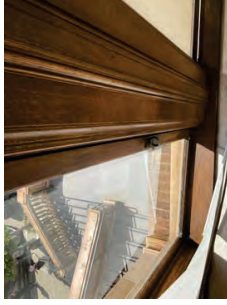
Original Sheet Size: 30" x 42"



Window 3A 16



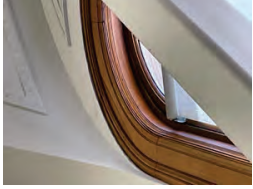
Window 2A 11



Window 1AB 6



Window 1A 1



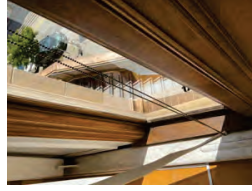
Window 3A 17



Window 2A 12



Window 1AB 7



Window 1A 2



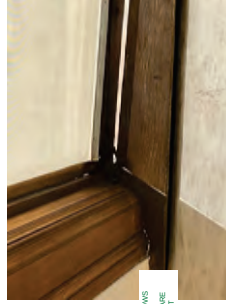
Window 3A 18



Window 2AB 13



Window 1B 8



Window 1A 3



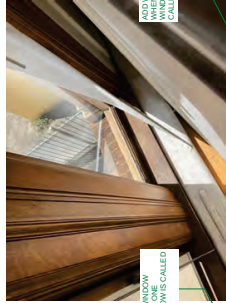
Window 3AB 19



Window 2B 14



Window 1B 9



Window 1AB 4



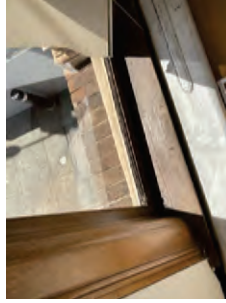
Window 3B 20



Window 2B 15



Window 2A 10



Window 1A 5

FOR DOUBLE
HUNG WINDOWS
THE NUMBER IS IN
THE CENTER

ADD WINDOW
NUMBER TO
WINDOW IS CALLED
OUT

ADD WINDOWS
NUMBER TO
WINDOW IS CALLED
OUT

