# City and County of San Francisco
## Department of Public Works
### TABULATION OF BEST VALUE SCORES
### PLA

SOURCING ID: 0000011171

CONTRACT TITLE: PW CHNTWN BRANCH LIB RENO

FULL TITLE: Chinatown Branch Library Renovation [Citywide PLA]

BIDS OPENED: July 10, 2026

| BIDDERS (in the order received & opened): | Total Bid Price | Non-Price Score | Best Value Score (Total Price ÷ Non-Price Score) |
|---|---|---|---|
| S.J. Amoroso Construction Co. LLC | $28,157,000.00 | 82.33 | 342,001.70 |
| Swinerton | $33,371,595.20 | 85.33 | 391,088.66 |
| Wickman Development and Construction | $26,235,998.68 | 73.00 | 359,397.24 |
| Thompson Builders Corp. | $33,392,989.00 | 79.33 | 420,937.72 |

| | |
|---|---|
| Average Bid: | $30,289,395.72 |
| Engineer's Estimate: | $21,200,000.00 |
| % of Engineer's Estimate: | 143% |
| % of Engineer's Estimate vs. Low Bid Received | 124% |

cc: Masoud Vafaei, Queena Chen, Magdalena Ryor, Scott Anderson, Jason Chin, Richard Gee, All Bidders

For complete subcontractor listings, check: https://bidopportunities.apps.sfdpw.org/CaseLoad/Details/2658

July 10, 2026

= Indicates a correction after review

City & County of San Francisco
Daniel Lurie, Mayor

Office of the City Administrator
Carmen Chu, City Administrator

Contract Monitoring Division
Regina Chan, Director

# MEMORANDUM

Date: July 22, 2026

To: Masoud Vafaei, Public Works
Robert Loftus, Public Works

From: Queena Chen, Contract Monitoring Division

Subject: CMD Review of Bids Submitted on April 15, 2026 for Chinatown Branch Library Renovation [Citywide PLA], Sourcing Event: 0000011171

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****Note to DPW -- Please use the tables with the blue headers for your Peoplesoft project team entry.**

**S.J. Amoroso Construction Co. LLC (Amoroso) is the apparent low bidder for this best value contract.** The apparent low bidder is determined by their base bid divided by the non-price score; lowest score wins.

| Bidder | Base Bid | Non-Price Score | Best Value Score (Total Price ÷ Non-Price Score) |
|---|---|---|---|
| S.J. Amoroso Construction Co. LLC | $28,157,000.00 | 82.33 | 342,001.70 |
| Wickman Development and Construction | $26,235,998.68 | 73.00 | 359,397.24 |
| Swinerton | $33,371,595.20 | 85.33 | 391,088.66 |
| Thompson Builders Corp. | $33,392,989.00 | 79.33 | 420,937.72 |

There is no LBE bid discount due to the engineer's estimate over $20,000,000.00.

**Amoroso satisfactorily demonstrated how they will meet the LBE subcontractor participation requirement.**

A combination of Micro-LBE and Small-LBE participation will count toward LBE subcontractor participation compliance with a distinct minimum requirement for Micro-LBEs. Amoroso's commitment for this contract:

| | Requirement % | Commitment % |
|---|---|---|
| **Micro LBE** | **5%** | **13.22%** |
| **Small LBE** | **15%** | **6.94%** |

**In their bid, Amoroso listed the following subcontractors on this contract.**

| Supplier Name | Scope of Work | LBE | LBE Size | LBE Percent | Percent Of Work | Amount |
|---|---|---|---|---|---|---|
| Tom's Metal Specialists | Structural Steel | LBE | SML | 100% | 6.66% | $1,875,220.00 |
| Alta Rebar | Reinforcing Steel | LBE | SML | 100% | 0.28% | $78,458.00 |
| Mars Glass Co. | Glass & Glazing | LBE | MICR | 100% | 2.82% | $794,908.00 |
| Bird Electric | Electrical | LBE | MICR | 100% | 9.11% | $3,650,000.00* |
| Vibro-Acoustic Consultants | Vibration & Noise Monitoring | LBE | MICR | 100% | 0.75% | $211,800.00 |
| Kingdom Pipelines, Inc | Earthwork | LBE | MICR | 100% | 0.37% | $103,530.00 |
| On the Level Concrete | Site Concrete | LBE | MICR | 100% | 0.17% | $47,919.00 |
| | | | | | | |
| Giampolini & Co. | Historic Masonry Repair | | | | [Blank] | [Blank] |
| Florian Industries | Ornamental Handrails & Railings | | | | [Blank] | [Blank] |
| Northwestern Design (NWD) | Architectural Wood Casework | | | | [Blank] | [Blank] |
| Alliance Roofing | SBS Modified Membrane Roofing & Textured Liquid Applied Reinforced | | | | [Blank] | [Blank] |
| Bay City Mechanical | Sheet Metal Flashing & Trim | | | | [Blank] | [Blank] |
| B T Mancini Company, Inc. | Metal Deck | | | | [Blank] | [Blank] |
| Ironwood Commercial Builders | Ornamental Plaster Restoration & EIFS | | | | [Blank] | [Blank] |
| Sullivan Thompson | Historic Window Restoration | | | | [Blank] | [Blank] |
| North Counties Drywall | Gypsum Board | | | | [Blank] | [Blank] |
| San Francisco Interiors | Acoustical Ceilings | | | | [Blank] | [Blank] |
| Baker's Floor & Surface | Resilient Flooring | | | | [Blank] | [Blank] |
| KBI Painting | Painting | | | | [Blank] | [Blank] |
| Yamada Enterprises | Electronic Library Equipment | | | | [Blank] | [Blank] |
| TK Elevator | Elevators | | | | [Blank] | [Blank] |
| Du-Mor Fire Systems | Fire Protection | | | | [Blank] | [Blank] |
| Cal Pacific Systems | Plumbing | | | | [Blank] | [Blank] |
| Control Air | HVAC | | | | [Blank] | [Blank] |
| Malcolm Drilling Company | Drilled Micropiles | | | | [Blank] | [Blank] |
| Asbestos Management Group | Demolition & Hazardous Abatement | | | | [Blank] | [Blank] |
| PCD/EKC (2nd tier under Bird Electric) | Low voltage (audio visual/ security/ telecom) | | | | 3.85% | $1,085,000.00 |

Bird Electric (Bird)'s portion of work is credited for less than the listed amount because Bird further subcontracted out to Non-LBE PCD/EKC.

**Amoroso satisfied the "Good Faith Efforts" requirement.**

Amoroso utilized Approach C by achieving at least 50 points with their demonstration of outreach.

**CMD finds Amoroso is responsive to pre-award requirements of Chapter 14B. Once awarded, the contract will be monitored for compliance with the LBE subcontractor participation commitment, as well as other 14B requirements.**

Primary CMD contact for the contract: Queena Chen, queena.chen@sfgov.org

CMD must be contacted immediately for:

- Subcontractor addition/substitution;
- Contract modification that cumulatively increases the original contract value by 20%;
- Prompt payment issues;
- Any other issues pertaining to LBE subcontractor participation

Noncompliance may result in penalties, including monetary fines. Please communicate with CMD early.

QC

San Francisco Planning

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# CEQA Exemption Determination

## PROPERTY INFORMATION/PROJECT DESCRIPTION

| Project Address | | Block/Lot(s) |
|---|---|---|
| 1135 Powell Street / Chinatown Branch Library Renovation | | 0191004 |
| **Case No.** | | **Permit No.** |
| 2022-013043ENV | | 202212279199 |
| ■ **Addition/ Alteration** | ☐ **Demolition (requires HRE for Category B Building)** | ■ **New Construction** |

**Project description for Planning Department approval.**

Listed as a San Francisco historic landmark library built in 1921, the existing building is two stories with a rooftop terrace, a rooftop penthouse, and attic. In 1995, the building underwent a renovation, including an addition. The proposed work under this permit is a renovation, which includes selective demolition of the original historic and 1995 renovation/addition. The building would continue to serve as a community branch library and would contain updated reading spaces, bookstacks, a community room, a children's library, additional restrooms, staff support spaces, and a replacement rooftop terrace. New mechanical, electrical, and fire protection systems would be provided throughout the original building and addition. The proposed replacement rooftop penthouses would contain building support and mechanical spaces. Project is designed to Leadership in Energy Efficient Design (LEED) rating of gold. The project would require approximately 50 cubic yards of excavation with a maximum depth of 7 feet.

## EXEMPTION TYPE

| | **The project has been determined to be exempt under the California Environmental Quality Act (CEQA).** |
|---|---|
| ■ | **Class 1 - Existing Facilities. (CEQA Guidelines section 15301)** Interior and exterior alterations; additions under 10,000 sq. ft. |
| ☐ | **Class 3 - New Construction. (CEQA Guidelines section 15303)** Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU. |
| ☐ | **Class 32 - In-Fill Development. (CEQA Guidelines section 15332)** New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:<br>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.<br>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.<br>(c) The project site has no value as habitat for endangered rare or threatened species.<br>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.<br>(e) The site can be adequately served by all required utilities and public services. |
| ☐ | **Other ____** |
| ☐ | **Common Sense Exemption (CEQA Guidelines section 15061(b)(3)).** It can be seen with certainty that there is no possibility of a significant effect on the environment. |

## ENVIRONMENTAL SCREENING ASSESSMENT

**Comments:**

The planning department's staff archeologist conducted preliminary archeological review on 1/24/2024 and determined that Public Works Standard Archeological Measure I (Discovery during Construction) is required.

**Planner Signature:** Don Lewis

## PROPERTY STATUS - HISTORIC RESOURCE

| | **PROPERTY IS ONE OF THE FOLLOWING:** |
|---|---|
| ■ | **Category A:** Known Historical Resource. |
| ☐ | **Category B:** Potential Historical Resource (over 45 years of age). |
| ☐ | **Category C:** Not a Historical Resource or Not Age Eligible (under 45 years of age). |

## PROPOSED WORK CHECKLIST

| | **Check all that apply to the project.** |
|---|---|
| ☐ | **Change of use and new construction.** Tenant improvements not included. |
| ☐ | **Regular maintenance or repair** to correct or repair deterioration, decay, or damage to building. |
| ☐ | **Window replacement** that meets the Department's *Window Replacement Standards*. |
| ☐ | **Garage work.** A new opening that meets the *Guidelines for Adding Garages and Curb Cuts*, or replacement of a garage door in an existing opening that meets the Residential Design Guidelines. |
| ☐ | **Deck, terrace construction, or fences** not visible from any immediately adjacent public right-of-way. |
| ☐ | **Mechanical equipment installation** that is not visible from any immediately adjacent public right-of-way. |
| ☐ | **Dormer installation** that meets the requirements for exemption from public notification under *Zoning Administrator Bulletin No. 3: Dormer Windows*. |
| ☐ | **Addition(s)** not visible from any immediately adjacent public right-of-way for 150 feet in each direction; or does not extend vertically beyond the floor level of the top story of the structure, or does not cause the removal of architectural significant roofing features. |
| ☐ | **Façade or storefront alterations** that do not remove, alter, or obscure character -defining features. |
| ☐ | **Restoration** based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings. |
| | **Note: Project Planner must check box below before proceeding.** |
| ■ | Project is not listed. |
| ☐ | Project involves scope of work listed above. |

## ADVANCED HISTORICAL REVIEW

| Check all that apply to the project. | |
|---|---|
| ☐ | **Reclassification of property status**. *(Attach HRER Part I relevant analysis; requires Principal Preservation Planner approval)*<br>☐ Reclassify to Category A<br>☐ Reclassify to Category C<br>☐ Lacks Historic Integrity<br>☐ Lacks Historic Significance |
| ☐ | Project involves a **known historical resource (CEQA Category A)** |
| ☐ | Project does not substantially impact character-defining features of a historic resource (see Comments) |
| ☐ | Project is compatible, yet differentiated, with a historic resource. |
| ■ | Project consistent with the Secretary of the Interior Standards for the Treatment of Historic Properties |
| **Note: If ANY box above is checked, a Preservation Planner MUST sign below.** | |
| ☐ | **Project can proceed with EXEMPTION REVIEW**. The project has been reviewed by the Preservation Planner and can proceed with exemption review. |
| **Comments by Preservation Planner:**<br>PLEASE SEE ATTACHED | |
| **Preservation Planner Signature:** Rebecca Salgado | |

## EXEMPTION DETERMINATION

| | | |
|---|---|---|
| ■ | **No further environmental review is required. The project is exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.** | |
| | **Project Approval Action:**<br>Historic Preservation Commission Hearing | **Signature:**<br>Don Lewis<br>02/01/2024 |
| | Supporting documents are available for review on the San Francisco Property Information Map, which can be accessed at https://sfplanninggis.org/pim/. Individual files can be viewed by clicking on the Planning Applications link, clicking the "More Details" link under the project's environmental record number (ENV) and then clicking on the "Related Documents" link.<br>Once signed and dated, this document constitutes an exemption pursuant to CEQA Guidelines and Chapter 31 of the SF Admin Code. Per Chapter 31, an appeal of an exemption determination to the Board of Supervisors shall be filed within 30 days after the Approval Action occurs at a noticed public hearing, or within 30 days after posting on the Planning Department's website a written decision or written notice of the Approval Action, if the approval is not made at a noticed public hearing. | |

## Advanced Historical Review Comments (Continued)

The proposed seismic work will bring the volume of the Main Reading Room closer to its historic appearance while providing improved protection for this historic property in the event of an earthquake. The proposal respects the character-defining features of the subject building. Portions of the historic plaster walls and ceiling in the Main Reading Room that are required to be removed for the seismic work will be replaced in kind, and replacement ornamental plaster will be based on molds taken of the historic ornamental plaster ahead of demolition work. The proposed work at the Powell Street facade will repair historic cladding and replace incompatible non-historic doors and windows with new doors and windows that align with the historic appearance of the building. The proposed new roof deck will not destroy historic materials or features that characterize the building. The new deck will be set back approximately 18 feet from the front of the building, and story pole mockups were installed to confirm that the deck and associated glass windscreen will only be minimally visible from a public right of way. The roof deck and windscreen have a simple, contemporary design that is differentiated from but compatible with the historic library.

San Francisco Planning

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# CERTIFICATE OF APPROPRIATENESS
# MOTION NO. 478

**HEARING DATE: FEBRUARY 21, 2024**

| | |
|---|---|
| **Record No.:** | 2022-013043COA |
| **Project Address:** | 1135 Powell Street |
| **Landmark:** | 235 (Chinatown Branch Library) |
| **Zoning:** | P (PUBLIC) Zoning District<br>65-A Height and Bulk District |
| **Block/Lot:** | 0191/004 |
| **Project Sponsor:** | Andrew Sohn, San Francisco Public Works<br>49 South Van Ness Avenue, Suite 1100<br>San Francisco, CA 94103 |
| **Property Owner:** | City & County of San Francisco<br>San Francisco, CA 94102 |
| **Staff Contact:** | Rebecca Salgado - 628-652-7332<br>Rebecca.Salgado@sfgov.org |

ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR MAJOR ALTERATIONS DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10 OF THE SAN FRANCISCO PLANNING CODE, AND TO MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 004 IN ASSESSOR'S BLOCK 0191 IN A P (PUBLIC) ZONING DISTRICT AND A 65-A HEIGHT AND BULK DISTRICT.

## Preamble

On July 22, 2023, Andrew Sohn of San Francisco Public Works (hereinafter "Project Sponsor") filed Application No. 2022-013043COA (hereinafter "Application") with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness for interior and exterior alterations at a subject building located on Lot 004 in Assessor's Block 0191, which is Landmark No. 235 (Chinatown Branch Library), locally designated under Article 10, Appendix A of the Planning Code.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 Categorical Exemption. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

On February 21, 2024, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Certificate of Appropriateness Application No. 2022-013043COA.

The Planning Department Commission Secretary is the Custodian of Records; the File for Record No. 2022-013043COA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby APPROVES WITH CONDITIONS the Certificate of Appropriateness, as requested in Application No. 2022-013043COA in conformance with the architectural plans dated December 18, 2023, and labeled Exhibit B based on the following findings:

## Findings

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. **The above recitals are accurate and also constitute findings of the Commission.**

2. **Project Description.** The proposed project involves work at the historic Main Reading Room including removal of a non-historic mezzanine, exposed diagonal seismic brace frames, and ceiling lighting and vents; installation of concealed concrete and steel seismic plates at portions of the wall and ceiling that will require limited in-kind replacement of historic plaster finishes at the walls and ceiling; installation of new lighting and vents at the ceiling; and installation of removable flat-panel artwork in the arched niches of the west elevation. The project also involves work at the Powell Street façade including replacement of non-historic aluminum windows in the central ground-floor arched openings with wood paired glazed entrance doors topped by an arched transom, flanked by one-over-one double-hung wood windows with integral ogee lugs matching the historic configuration; replacement of non-historic secondary entrance doors at the ground floor with new doors in the existing openings; replacement of the non-historic metal-pipe railings on the entrance stairways with new metal railings; replacement of the non-historic main entrance doors at the second floor with new wood paired glazed doors matching the historic configuration; modifications to the non-historic secondary entrance stair, landing, and trash enclosure at the north end of the Powell Street frontage; and repairs to the historic façade elements, wood windows, and entrance light fixtures. The proposed project also includes exterior alterations to the non-visible, non-historic secondary elevations of the 1996 addition to the library, including window replacement in existing openings and repairs to existing cladding; The proposed project also includes work at the roof of both the historic library and the 1996 rear addition, including construction of a new publicly accessible roof deck with a glazed windscreen set back approximately 18 feet from the Powell Street façade that will be

minimally visible from a public right of way; replacement of an existing elevator penthouse with a new elevator penthouse that will not be visible or minimally visible from a public right of way; replacement of non-historic skylights; and replacement and relocation of mechanical equipment that will not be visible from a public right of way. The proposed project also includes interior alterations at all levels. Please see photographs and plans for details.

3. **Property Description.** 1135 POWELL STREET is located on the west side of Powell Street between Jackson Street and Washington Street (Assessor's Block 0191; Lot 004). The subject building is Landmark No. 235 (Chinatown Branch Library), locally designated under Article 10, Appendix A of the Planning Code. The Italian Renaissance-style, two-story library was built in 1921 and designed by architect Gustave Albert Lansburgh. The building's Powell Street façade features decorative brick patterning and terra cotta elements, with a symmetrical, 5-bay façade composition. The main entrance at the second floor is reached by a double-return switchback stairway. The building has a flat roof with a solid brick parapet. The landmark designation report for the subject property calls out the following character-defining features for preservation or in-kind replacement, if determined to be necessary:

   - exterior composition and materials
   - the spatial volume of the Main Reading Room
   - the ornamental ceiling of the Main Reading Room

   In 1996, the building received a rear addition that doubled its original size as well as a seismic retrofit that resulted in the installation of diagonal bracing in the historic Main Reading Room as well as the removal of a portion of the historic finishes from the interior of the Main Reading Room.

4. **Surrounding Properties and Neighborhood.** 1135 Powell Street, also known as the Chinatown Him Mark Lai Branch Library, is located at the border of the Chinatown and Nob Hill neighborhoods. Surrounding buildings host primarily residential and commercial uses and generally range in height from two to four stories. The subject property is flanked by the two-story Quong Ming Jade Emperor Palace (1123 Powell Street) to the south and 1149–1153 Powell Street, a three-story commercial and residential building, to the north.

5. **Public Outreach and Comments.** The project sponsor presented the project at four San Francisco Public Library Commission Meetings between 2017 and 2021, and held six community meetings in 2022 and 2023, two of which were virtual and the remainder in person. The Department has received one public inquiry about the proposed project, asking for information on how long the library would be closed for renovations.

6. **Planning Code Compliance.** The Commission has determined that the proposed work is compatible with the interior and exterior character-defining features of the subject property and meets the requirements of Article 10 of the Planning Code in the following manner:

   A. Article 10 of the Planning Code. Pursuant to Section 1006.6 of the Planning Code, the proposed alteration shall be consistent with and appropriate for the effectuation of the purposes of this Article 10.

*The proposed project is consistent with Article 10 of the Planning Code.*

B. Secretary of the Interior's Standards. Pursuant to Section 1006.6(b) of the Planning Code, the proposed work shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties for significant and contributory buildings, as well as any applicable guidelines, local interpretations, bulletins, or other policies. Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

(1) Standard 1: A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

*The proposed work will not modify the existing and historic public library use at the subject property.*

(2) Standard 2: The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

*The proposal is to remove non-historic additions to the Main Reading Room and install new concealed seismic plates behind select areas of the room's walls; replace non-historic doors, windows, and railings and conduct façade repairs at the Powell Street façade; replace windows and repair façade cladding at the non-historic, non-visible secondary elevations; install a new roof deck, replacement elevator penthouse, and mechanical equipment on the roof; and conduct interior alterations at all levels. While the work at the Main Reading Room will require replacement of portions of the plaster walls and ceiling, this work will bring the overall appearance of the room closer to its historic state because the non-historic mezzanine and diagonal bracing will be removed. Work at the Powell Street façade will repair historic cladding and replace incompatible non-historic doors and windows with new doors and windows that align with the historic appearance of the building.*

(3) Standard 3: Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.

*No conjectural features or elements from other historic properties are proposed.*

(4) Standard 4: Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

*Not applicable. The mezzanine and diagonal bracing in the Main Reading Room that are proposed to be removed date from a larger renovation of the library in the 1990s and have not acquired historic significance in their own right.*

(5) Standard 5: Distinctive features, finishes, and construction techniques or examples of fine

craftsmanship that characterize a property shall be preserved.

*The distinctive features and finishes of the building will be retained and preserved, with the exception of portions of the historic plaster ceiling and walls in the Main Reading Room, which are proposed to be replaced in kind where necessary. The portions to be replaced will be as minimal as possible, and the replacement ornamental plaster will be based on molds taken of the historic ornamental plaster ahead of demolition work. The proposed replacement of the non-historic aluminum windows in the Powell Street façade's central ground-floor arched openings with wood paired glazed entrance doors topped by an arched transom, flanked by one-over-one double-hung wood windows with integral ogee lugs, will bring this prominent part of the primary façade closer to its documented historic condition.*

(6) Standard 6: Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

*The restoration work at the Powell Street facade primarily proposes repairs rather than replacement of historic façade elements, including cleaning, brick repair, wood window trim repair, and terra cotta repair. If additional survey work reveals limited elements too deteriorated for repair, these elements will be replaced in kind in consultation with Planning staff.*

(7) Standard 7: Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

*The façade repair work at the Powell Street façade includes cleaning of the brick and terra cotta cladding, which will be undertaken using the gentlest means possible in consultation with Planning staff.*

(8) Standard 8: Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

*Preliminary archeological review completed by the Planning Department's cultural resource staff determined that accidental discovery provisions were the appropriate archeological measure for the project and will be included as Public Works standard construction measures.*

(9) Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

*The roof deck proposed to be installed on the historic library will not destroy historic materials or features that characterize the building. The new deck will be set back approximately 18 feet from*

*the front of the building, and story pole mockups were installed to confirm that the deck and associated glass windscreen will only be minimally visible from a public right of way. The roof deck and windscreen have a simple, contemporary design that is differentiated from but compatible with the historic library.*

(10) Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*The proposed roof deck could be removed in the future without impairing the form and integrity of the historic building.*

C. Landmarks. Article 10 of the Planning Code outlines specific findings for the Commission to consider when evaluating applications for alterations to Landmarks or within designated Historic Districts.

Landmarks

1. Pursuant to Section 1006.6(c) of the Planning Code, for applications pertaining to landmark sites, the proposed work shall preserve, enhance, or restore, and shall not damage or destroy, the exterior architectural features of the landmark and, where specified in the designating ordinance pursuant to Section 1004(c), its major interior architectural features. The proposed work shall not adversely affect the special character or special historical, architectural, or aesthetic interest or value of the landmark and its site, as viewed both in themselves and in their setting, nor of the historic district in applicable cases.

   *The project is in conformance with Article 10, and as outlined in Appendix A, the work shall not adversely affect the Landmark site.*

7. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

**URBAN DESIGN ELEMENT**

THE URBAN DESIGN ELEMENT concerns the physical character and order of the city, and the relationship between people and their environment.

OBJECTIVE 1:
EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.3
Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2:
CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.4
Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

Policy 2.5
Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

Policy 2.7
Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

*The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.*

*The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject property for the future enjoyment and education of San Francisco residents and visitors.*

8. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

   A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

   *The proposed project will not have an impact on neighborhood serving retail uses.*

   B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

   *The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards.*

   C) The City's supply of affordable housing will be preserved and enhanced:

   *The project will not affect the City's affordable housing supply.*

   D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.*

E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

*The proposed project will not have a direct impact on the displacement of industrial and service sectors.*

F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The Project will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code. As such, this Project will improve the property's ability to withstand an earthquake.*

G) That landmark and historic buildings will be preserved:

*The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.*

H) Parks and open space and their access to sunlight and vistas will be protected from development:

*The proposed project will not impact the access to sunlight or vistas for the parks and open space.*

9. **For these reasons, the proposal overall appears to meet the *Secretary of the Interior's Standards* and the provisions of Article 10 of the Planning Code regarding Major Alterations.**

## Decision

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby APPROVES WITH CONDITIONS a Certificate of Appropriateness for the subject property located at Lot 004 in Assessor's Block 0191 for proposed work in conformance with the architectural submittal dated December 18, 2023, and labeled Exhibit B on file in the docket for Record No. 2022-013043COA.

**APPEAL AND EFFECTIVE DATE OF MOTION:** The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days after the date of this Motion No. 0478. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 49 South Van Ness Ave, Suite 1475 or call (628) 652-1150.

**Duration of this Certificate of Appropriateness:** This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on February 21, 2024.

Jonas P Ionin Digitally signed by Jonas P Ionin
Date: 2024.02.27 14:30:21 -08'00'

Jonas P. Ionin
Commission Secretary

| | |
|---|---|
| AYES: | Vergara, Wright, Foley, Nageswaran, Matsuda |
| NAYS: | None |
| ABSENT: | Baldauf, Campbell |
| ADOPTED: | February 21, 2024 |

# EXHIBIT A

## Authorization Update

This authorization is for a Certificate of Appropriateness to allow Alterations located at 1135 Powell Street, Block 0191, Lot 004, pursuant to Planning Code Section 1006.6 within the P District and a 65-A Height and Bulk District; in general conformance with plans, dated December 18, 2023, and stamped "EXHIBIT B" included in the docket for Record No. 2022-013043COA and subject to conditions of approval reviewed and approved by the Historic Preservation Commission on February 21, 2024, under Motion No. 478. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

## Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' of this Historic Preservation Commission Motion No. 478 shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference the Certificate of Appropriateness and any subsequent amendments or modifications.

## Severability

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section, or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

## Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Historic Preservation Commission approval of a new Certificate of Appropriateness. In instances when Planning Commission also reviews additional authorizations for the project, Planning Commission may make modifications to the Certificate of Appropriateness based on majority vote and not required to return to Historic Preservation Commission.

## Extension

All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

## Conditions of Approval

1. As construction progresses, the project sponsor will provide specifications and documentation of mock-ups for all proposed exterior façade repairs—including repairs to brick, terra cotta, and wood façade elements—to Planning staff for review and approval. If the scope of façade repair work expands to also include replacement of façade elements, the project sponsor will notify Planning staff to allow for further evaluation.

2. As construction progresses, the project sponsor will provide a material sample of the proposed cladding for the elevator penthouse and the proposed glazing for the roof deck windscreen, which must consist of a non-glare glazing product.

3. As construction progresses, the project sponsor will complete feasibility studies to determine whether the original north and south wall windows, which are currently covered by later alterations, may be reopened to admit natural light. The project sponsor will provide staff with the requested feasibility studies for review and comment.

## EXHIBIT B

# PLANS AND RENDERINGS

# CHINATOWN HIM MARK LAI
# BRANCH LIBRARY RENOVATION

1135 POWELL ST, SAN FRANCISCO, CA, 94108

DECEMBER 18TH, 2023

## DEMOLITION CALCULATIONS

**Demolition Calculations**

**Planning Code Section 1005**

**1005(f)(1): All "public facing" exterior walls**

| Elevation | (E) SF | Demo SF | % Demo | Max Permitted | Meet Code? |
|---|---|---|---|---|---|
| East (Front) Elevation | 2,710 | 0 | 0.0% | | |
| West (Rear) Elevation, if applicable | N/A | N/A | N/A | | |
| North (Side) Elevation, if applicable | N/A | N/A | N/A | | |
| South (Side) Elevation, if applicable | N/A | N/A | N/A | | |
| Total | 2,710 | 0 | 0.0% | 25.0% | Yes |

**1005(f)(2): All Exterior Walls from function as exterior walls**

| Elevation | (E) SF | Demo SF | % Demo | Max Permitted | Meet Code? |
|---|---|---|---|---|---|
| East (Front) Elevation | 2,710 | 0 | 0.0% | | |
| West (Rear) Elevation | 3,175 | 220 | 6.9% | | |
| North (Side) Elevation | 4,950 | 555 | 11.2% | | |
| South (Side) Elevation | 5,260 | 1,362 | 25.9% | | |
| Total | 16,095 | 2,137 | 13.3% | 50.0% | Yes |

**1005(f)(3): External Walls that function as either external or internal walls**

| Elevation | (E) SF | Demo SF | % Demo | Max Permitted | Meet Code? |
|---|---|---|---|---|---|
| East (Front) Elevation | 2,710 | 0 | 0.0% | | |
| West (Rear) Elevation | 3,175 | 220 | 6.9% | | |
| North (Side) Elevation | 4,950 | 555 | 11.2% | | |
| South (Side) Elevation | 5,260 | 1,362 | 25.9% | | |
| Total | 16,095 | 2,137 | 13.3% | 25.0% | Yes |

**1005(f)(4): Horizontal Elements**

| Floor Plate | (E) SF | Demo SF | % Demo | Max Permitted | Meet Code? |
|---|---|---|---|---|---|
| Ground Floor (excluded per code) | N/A | N/A | N/A | | |
| Main Floor | 7,505 | 240 | 3.1% | | |
| Mezzanine (excluded pre code) | N/A | N/A | N/A | | |
| Roof | 6,405 | 215 | 3.3% | | |
| Total | 13,910 | 455 | 3.3% | 75.0% | Yes |

OR: OR:

**Internal Structural Framework** (structural elements only - posts, shear walls, etc.)

| Walls | (E) LF | Demo LF | % Demo | Max Permitted | Meet Code? |
|---|---|---|---|---|---|
| Ground Floor | 86 | 6 | 7.1% | | |
| Main Floor | 202 | 190 | 94.0% | | |
| Mezzanine | 130 | 0 | 0.0% | | |
| Total | 418 | 96 | 23.0% | 75.0% | Yes |

## PROJECT DIRECTORY


CLIENT

SAN FRANCISCO PUBLIC LIBRARY
CITY & COUNTY OF SAN FRANCISCO

100 LARKIN ST, 5TH FLOOR
SAN FRANCISCO, CA, 94102

STRUCTURAL ENGINEER

STRUCTUS / TUAN & ROBINSON

444 SPEAR ST, SUITE 101,
SAN FRANCISCO, CA, 94105

T (415) 957-2480

HISTORIC ARCHITECT

TREANOR

460 BUSH ST, FL 2
SAN FRANCISCO, CA, 94108

T (415) 7730773

ENERGY MODELLING / LEED

STOK

26 O'FARRELL STREET, FL 2
SAN FRANCISCO, CA, 94108

T (760) 4844611

COST ESTIMATOR

SAYLOR

505 MONTGOMERY ST, FL 11
SAN FRANCISCO, CA, 94111

T (415) 399-9990

ARCHITECT

SAN FRANCISCO PUBLIC WORKS
BUILDING DESIGN & CONSTRUCTION
BUREAU OF ARCHITECTURE

49 SOUTH VAN NESS AVE, 11TH FLOOR
SAN FRANCISCO, CA, 94132

CONTACT: ANDREW SOHN
T (628) 271-3877
EMAIL: ANDREW.SOHN@SFDPW.ORG

MECHANICAL ENGINEER

SAN FRANCISCO PUBLIC WORKS
INFRASTRUCURE DESIGN & CONSTRUCTION
MECHANICAL SECTION

49 SOUTH VAN NESS AVE, 9TH FLOOR
SAN FRANCISCO, CA, 94132

T (628) 271-2732

WATERPROOFING

ALLANA BUICK & BERS INC.

990 COMMERCIAL STREET
PALO ALTO, CA, 94303

T (510) 380-8219

TELECOM / AV / SECURITY / ACOUSTICS

VENEKLASEN

1711 16TH ST
SANTA MONICA, CA, 90404

T (310) 450-1733

CIVIL ENGINEER / SURVEYOR

SAN FRANCISCO PUBLIC WORKS
BUREAU OF STREET USE & MAPPING

1155 MARKET ST, FL 1
SAN FRANCISCO, CA, 94103

T (628) 271-2000

ELECTRICAL ENGINEER

SAN FRANCISCO PUBLIC WORKS
INFRASTRUCURE DESIGN & CONSTRUCTION
ELECTRICAL SECTION

49 SOUTH VAN NESS AVE, 9TH FLOOR
SAN FRANCISCO, CA, 94132

T (628) 271-2709

LIGHTING

HORTON LEES BROGDEN LIGHTING DESIGN

300 BRANNAN ST, SUITE 212
SAN FRANCISCO, CA, 941015

T (628) 246-2730

ELEVATOR

SYSKA HENNESSEY GROUP

425 CALIFORNIA ST, SUITE 400
SAN FRANCISCO, CA, 94104

T (415) 288-5924

SPECIFICATIONS

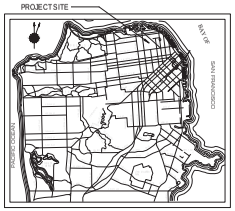
EMILY BORLAND SPECIFICATIONS

330 CAMPBELL AVE
SAN FRANCISCO, CA, 94134

T (628) 341-8852


San Francisco Public Library

## LOCATION MAP




## VICINITY MAP

## DESCRIPTION OF WORK

THE PROJECT IS THE COMPLETE RENOVATION OF THE CHINATOWN HIM MARK LAI BRANCH LIBRARY AT 1135 POWELL STREET, SAN FRANCISCO. THE BUILDING WAS BUILT IN 1921 AND IS A REGISTERED HISTORIC LANDMARK. THE BUILDING UNDERWENT SIGNIFICANT RENOVATION AND ADDITION IN 1995. THE SCOPE OF WORK INCLUDES SELECTIVE DEMOLITION, NEW ARCHITECTURAL FINISHES, SITEWORK, UTILITIES, STRUCTURAL UPDATES, MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, TELECOMMUNICATION, SECURITY AND AUDIO/VISUAL SYSTEMS. THE PROJECT REQUIRES USGBC LEED "GOLD" CERTIFICATION.

GREEN HALO #GH899-240-4518, SEE G1.20 FOR ADDITIONAL INFO

## SITE PERMIT ADDENDA SCHEDULE

SITE PERMIT: PERMIT APPLICATION: PERMIT APPLICATION #2022-12##-####-S
ADDENDUM 1: SHORING & UNDERPINNING (BY CONTRACTOR)
ADDENDUM 2: ARCHITECTURAL, STRUCTURAL, CIVIL DRAWINGS
ADDENDUM 3: MECHANICAL (FIRE PROTECTION BASIS OF DESIGN) & ELECTRICAL (INCLUDING LOW VOLTAGE)
ADDENDUM 4: EXTERIOR LIGHT GAUGE METAL FRAMING (BY CONTRACTOR)
ADDENDUM 5: FIRE SPRINKLER (BY CONTRACTOR)
ADDENDUM 6: FIRE ALARM AND TWO-WAY EMERGENCY COMMUNICATION SYSTEM (DEFERRED SUBMITTAL BY CONTRACTOR)
ADDENDUM 7: METAL STAIRS (BY CONTRACTOR)
ADDENDUM 8: FALL ARREST PROTECTION SYSTEM (BY CONTRACTOR)
ADDENDUM 9: EVACUATION SIGNAGE (BY CONTRACTOR)

## PROJECT DATA & CODE SUMMARY

| | |
|---|---|
| PROJECT NAME: | CHINATOWN HIM MARK LAI BRANCH PUBLIC LIBRARY RENOVATION |
| ADDRESS: | 1135 POWELL ST, SAN FRANCISCO, CA, 94108 |
| BLOCK / LOT: | 04 / 0191 |
| ZONING DISTRICT: | P-PUBLIC |
| PLAN AREA: | NONE |
| HEIGHT & BULK DISTRICT: | 65-X |
| PARCEL AREA: | 9,463 SF (68.75'x137.5) |

EXISTING BUILDING DATA (PER 1995 RENOVATION)

| | | |
|---|---|---|
| EXISTING BUILDING BUILT: | 1921, ADDITION & RENOVATION 1995 | |
| EXISTING NO. OF STORIES: | 2 STORIES (INCLUDING BASEMENT) | |
| EXISTING BLDG HEIGHT: | 40'-6"+/-TO PARAPET (EX. PENTHOUSES) | |
| EXISTING FLOOR AREA: | BASEMENT: | 8,325 SF |
| | MAIN FLOOR: | 8,325 SF |
| | MEZZANINE: | 2,880 SF |
| | ROOF: | 8,325 SF |
| | TOTAL: | 27,905 SF |
| EXISTING CONSTRUCTION: | TYPE III- 1 HOUR (1993) | |
| EXISTING OCCUPANCY | A2.1 (1993) | |
| PRESENT USE: | LIBRARY | |

APPLICABLE BUILDING CODES:
2019 CA BUILDING CODE (CBC) WITH SF AMENDMENTS
2019 CA ENERGY CODE WITH SF AMENDMENTS
2019 CA ADMINISTRATIVE CODE (CAC)
2019 CA ELECTRICAL CODE (CEC) WITH SF AMENDMENTS
2019 CA MECHANICAL CODE (CMC) WITH SF AMENDMENTS
2019 CA PLUMBING CODE (CPC) WITH SF AMENDMENTS
2019 CA FIRE CODE (CFC) WITH SF AMENDMENTS
2010 DOJ ADA STANDARDS FOR ACCESSIBLE DESIGN

| | |
|---|---|
| **PROPOSED ALLOWABLE HEIGHT & AREA** | |
| ALLOWABLE BLDG HT (FT): | 55' ABOVE GRADE PLANE [A-3, III-B, S (W/ AREA INCREASE)] |
| ALLOW. BLDG HT (STORIES): | 2 STORIES ABOVE GRADE PLANE (506.2.1) [A-3, III-B, S/M (W/ AREA INCREASE)] |
| ALLOWABLE AREA | A-3: 28,500 SF (III-B, S/M W/O HT INCREASE) |
| FRONTAGE INCREASE (EQ 5-4) | NOT APPLICABLE |
| AMOUNT OF INCREASE (EQ 5-5) | NOT APPLICABLE |

| | |
|---|---|
| FIRE RESISTIVE REQUIREMENTS III-B [T601] | |
| PRIMARY STRUCTURAL FRAME | 0 HOUR (NON-RATED) |
| BEARING WALL: EXTERIOR | 2 HOUR |
| NONBEARING WALL: EXTERIOR | SEE BELOW |
| NONBEARING WALL: INTERIOR | 0 HOUR (NON-RATED) |
| FLOORS & SECOND MEMBERS | 0 HOUR (NON-RATED) |
| ROOF & SECONDARY MEMBERS | 0 HOUR (NON-RATED) |

| | |
|---|---|
| EXTERIOR WALL FIRE SEPARATION DISTANCE [T602] | |
| X < 5 FEET | 1 HOUR AT NORTH FRONTAGE |
| 5 ≤ X < 10 FEET | 1 HOUR AT NORTH & WEST ALLEY FRONTAGE |
| 10 ≤ X < 30 FEET | 0 HOUR |
| X ≥ 30 FEET | 0 HOUR (46 FT TO CL POWELL ST FRONTAGE) |

| | |
|---|---|
| **PROPOSED OCCUPANCY HEIGHT & AREA** | |
| OCCUPANCY GROUP: | A-3 |
| USE: | LIBRARY |
| TYPE OF CONSTRUCTION: | TYPE III-B |
| FIRE SPRINKLER: | YES (903.1.1.1, NFPA 13) |
| FIRE ALARM: | YES (NFPA 72) |
| BLDG HT ABOVE GRADE PLANE | 38'-7"+/- TO AVG HEIGHT OF HIGHEST ROOF SURFACE; NO CHANGE; EXCLUDES (N) ELEVATOR, PENTHOUSE, OCCUPIED ROOF |
| NO. OF STORIES | 2 STORIES (EXCLUDES MEZZANING & OCCUPIED ROOF) |

| | | |
|---|---|---|
| PROPOSED BUILDING AREA | 16,650 +/- (CBC 506) | |
| | GROUND FLOOR | 8,325 SF |
| | MAIN FLOOR | 8,325 SF |
| | *MEZZANINE* | 1,990 SF (GROSS) |
| | *OCCUPIED ROOF** | 1,400 SF*** |
| | | *EXCLUDE FROM BLDG AREA (505.2) |
| | | **EXCLUDE FROM BLDG AREA (903.1.4) |

| | |
|---|---|
| PENTHOUSES (NOT A STORY) | COMPLIES WITH 1510.1 & 1510.2.1-1510.2.4 |
| INCIDENTAL USES (509.1) | STATIONARY STORAGE BATTERY SYSTEM & ELECTRICAL INSTALLATION |
| 1 HOUR FIRE BARRIER | ELEVATOR HOISTWAY & MEP SHAFTS |
| UNPROTECTED OPENINGS | SEE G2.3, POWELL (EAST) FRONTAGE |
| SF EXISTING BUILDING CODE CHANGE OF OCCUPANCY | |
| 506.4.3 SEISMIC LOADS | NO CHANGE IN OCCUPANCY. |

Original Sheet Size: 30" x 42"

BUREAU OF ARCHITECTURE

SAN FRANCISCO PUBLIC WORKS


Ron Alameida - Deputy Director & City Architect
Julia Laue - Bureau Manager & Principal Architect
49 South Van Ness Ave., Suite 1100 , San Francisco, CA 94103
Phone (628)271-2665


CHINATOWN BRANCH

1135 POWELL STREET
SAN FRANCISCO, CA, 94108

Consultant

Bureau Mgr. Julia Laue
Section Mgr. Lourdes Garcia
Technical Mgr. Vito Vanoni

FOR DBI USE ONLY

95% PERMIT 01/12/2024

| No. | Date | Revisions |
|---|---|---|
| | | |

PM
PA AS
Drawn CS, JV
Checked AS

NOT FOR CONSTRUCTION

Drawing Title

DESCRIPTION OF WORK, PROJECT DIRECTORY, PROJECT DATA & CODE SUMMARY, LOCATION & VICINITY MAPS

Sheet No.

G 0.00

Scale 1/2" = 1'-0"

C:\Users\andrew.sohn\Documents\SDA_CHTRL_REMO_ARCH_R23_andrew.sohn@SDA.cvf
Tuesday, December 19, 2023 2:00:00 PM

## DEMOLITION NOTES

1. THE CHINATOWN HIM MARK LAI LIBRARY IS LANDMARKED HISTORIC PROPERTY AND THE LANDMARK DESIGNATION EXTENDS THROUGH THE INTERIOR OF THE BUILDING. EXISTING CONSTRUCTION THAT WAS ORIGINAL TO THE BUILDING IS CONSIDERED HISTORIC FABRIC. ALL DEMOLITION SHOULD BE PER THESE DRAWINGS AND CAREFULLY COORDINATED WITH THE ARCHITECT.
2. VISIT THE SITE AND BECOME THOROUGHLY FAMILIAR WITH THE EXISTING CONSTRUCTION AND CONDITIONS. RESOLVE ANY QUESTIONS OR CONFLICTS REGARDING THE EXISTING CONDITIONS AND THE DEMOLITION DRAWINGS WITH THE CITY REPRESENTATIVE PRIOR TO START OF WORK.
3. DEMOLITION IS NOT LIMITED TO WHAT IS SHOWN ON THE DRAWINGS. THE DRAWINGS ARE INTENDED TO SHOW THE PURPOSE AND INTENT ONLY, AND THE CONTRACTOR SHALL COMPLY WITH THE TRUE INTENT AND MEANING, TAKEN AS A WHOLE, AND SHALL NOT AVAIL ITSELF OF ANY MANIFEST ERROR, OMISSION, DISCREPANCY OR AMBIGUITY WHICH APPEARS IN THE DRAWINGS, INSTRUCTIONS OR WORK PERFORMED BY OTHERS. NOTIFY THE CITY REPRESENTATIVE(S) OF ALL EXISTING CONSTRUCTION NOT SPECIFICALLY NOTED ON THE DRAWINGS. EITHER REMOVE OR RETAIN THESE ITEMS AS DIRECTED BY THE CITY REPRESENTATIVE.
4. IF EITHER CONCEALED CONDITIONS OR UNKNOWN PHYSICAL CONDITIONS OF UNUSUAL NATURE (DIFFERENT MATERIALLY FROM THOSE ORDINARILY ENCOUNTERED AND GENERALLY RECOGNIZED AS INHERENT IN THE WORK) ARE ENCOUNTERED WHICH AFFECT THE PERFORMANCE OF THE WORK OF THIS CONTRACT, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CITY OF SUCH CONDITIONS, AND HOW SUCH CONDITIONS AFFECTS THE WORK AND RECOMMEND METHODS TO OVERCOME SUCH CONDITIONS. THE CONTRACTOR SHALL WAIT FOR INSTRUCTIONS FROM THE CITY REPRESENTATIVE(S) PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
5. DEMOLITION SHALL INCLUDE ALL EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS REQUIRED FOR NEW WORK. SEE MECH. AND ELEC. DRAWINGS FOR NEW WORK AND NEW OPENINGS IN EXISTING CONSTRUCTION. COORDINATE DEMOLITION TO COMPLY WITH INTENT OF WORK.
6. CONDUCT OPERATIONS TO PREVENT DAMAGE TO ADJACENT BUILDINGS, STRUCTURES, OTHER FACILITIES OR PERSONS AND TO THE PUBLIC RIGHT OF WAY.
7. PROTECT FROM DAMAGE: ALL MATERIALS, CONSTRUCTION, UTILITIES, AND OTHER ITEMS AND APPURTENANCES NOT SCHEDULED FOR DEMOLITION.
8. REPAIR ALL DAMAGED CAUSED TO ADJACENT EXISTING WALLS OR FACILITIES BY DEMOLITION OPERATIONS AT NO ADDITIONAL COST TO THE CITY. REPAIR SURFACES TO MATCH EXISTING.
9. USE TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT FROM RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL OF AIR POLLUTION FOR THE CONDITION OF THE WORK. COMPLY WITH CAL/OSHA, CARB, AND SF REGULATIONS.
10. KEEP THE CONSTRUCTION AREA BROOM CLEAN. CLEAN ALL DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION.
11. CONTRACTOR TO PROVIDE TEMPORARY LIGHTING THROUGHOUT THE BUILDING FOR DEMOLITION WORK.
12. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AT ALL NEW OPENINGS IN THE EXISTING BUILDING STRUCTURE. THE CONTRACTOR IS TO PROVIDE SHOP DRAWINGS OF THE PROPOSED SHORING METHOD FOR REVIEW AND APPROVAL BY THE ENGINEER. THE SHOP DRAWINGS OF THE SHORING SYSTEM ARE TO BE SIGNED AND STAMPED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF CALIFORNIA.
13. CONTRACTOR TO COMPLY WITH SFEBC SECTION 327 - WORK PRACTICES FOR LEAD-BASED PAINT ON PRE-1979 BUILDINGS AND STEEL STRUCTURES.
14. CONTRACTOR TO COMPLY WITH SFEBC SECTION 328 - ASBESTOS INFORMATION AND NOTICE.
15. CONTRACTOR TO COMPLY WITH CONSTRUCTION AND DEMOLITION DEBRIS RECOVERY PROGRAM - SF BC CHAPTER 13B. REFER TO SECTION 01 74 50, "MATERIAL REDUCTION AND RECOVERY PLAN"
16. CONTRACTOR TO PROVIDE NECSSARY PERMITS REQUIRED FOR DEMOLITION.

## LEGEND

EXTERIOR ELEVATION
ELEVATION IDENTIFICATION
SHEET NUMBER
INTERIOR ELEVATION
ELEVATION IDENTIFICATION
SHEET NUMBER
DETAIL CALLOUT
DETAIL IDENTIFICATION
SHEET NUMBER
SECTION CALLOUT
DETAIL IDENTIFICATION
SHEET NUMBER
ELEVATION MARKER
GRID LINE IDENTIFICATION
REVISION
CLOUD AROUND REVISION OPTIONAL
REVISION NUMBER
PROJECT NORTH
DOOR SYMBOL AND NUMBER
WINDOW SYMBOL
W1 - INTERIOR WINDOWS
WA - EXTERIOR WINDOWS
ROOM INDENTIFICATION
ROOM NAME
ROOM NUMBER
PARTITION TYPE
STUD SIZE
PARTITION CONFIGURATION
FIRE RATING, IN HOURS, WHERE APPLIES

## GENERAL NOTES

1. ALL CONSTRUCTION AND INSTALLATION WORK SHOWN IN DRAWING OR INDICATED IN SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES OF GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
2. DOCUMENTS ARE FOR THE SOLE USE OF THE DOCUMENT RECIPIENT - DO NOT OTE, COPY, OR CIRCULATE THESE DWG WITHOUT THE EXPRESS PERMISSION OF SAN FRANCISCO PUBLIC WORKS.
3. ALL WORK AS SHOWN BY THE NOTES ON THE DRAWINGS IS ASSUMED TO BE NEW WORK (N), UNLESS OTHERWISE INDICATED AS (E) OR EXISTING WORK TO REMAIN.
4. CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY DISCREPANCY OR VARIATION. DO NOT PROCEED WITH AFFECTED WORK UNTIL VARIATION OR DISCREPANCY IS RESOLVED.
5. DO NOT SCALE DRAWINGS. IF UNABLE TO LOCATE DIMENSIONS FOR ANY ITEM OF WORK, CONSULT OWNER'S REPRESENTATIVE FOR DIRECTION BEFORE PROCEEDING. PER CBC 1.1B-104.1.1, ALL BUILDING CODE DIMENSIONS ARE SUBJECT TO CONVENTIONAL CONSTRUCTION INDUSTRY TOLERANCES EXCEPT WHERE THE REQUIREMENT IS STATED AS A RANGE WITH SPECIFIC MINIMUM AND MAXIMUM END POINTS. BASED ON THE DSA ADVISORY ON TOLERANCES, SOME DIMENSIONS ON STANDARD ACCESSIBILITY DETAILS WITHIN THIS SET SPECIFY A DIMENSION LESS THAN THE REQUIRED CODE MAXIMUM (OR MORE THAN THE CODE-REQUIRED MINIMUM) BY THE AMOUNT OF THE EXPECTED FIELD TOLERANCE. THIS DOES NOT CHANGE ACCESSIBILITY REQUIREMENTS REQUIRED BY THE BUILDING CODE.
6. PLAN DIMENSIONING: DIMENSIONS ARE TO:

   GRID LINE
   CENTER LINE OF COLUMN
   FACE OF GYPSUM BOARD
   FACE OF CONCRETE
   CENTER LINE OF WINDOW
   DOOR CENTER LINE OR JAMB DIMENSION POINT AS INDICATED ON DETAIL
7. ALL DIMENSIONS NOTED "CLEAR" OR "CLR" MUST BE STRICTLY MAINTAINED AS CLEAR DIMENSIONS TO FACE OF FINISH. DIMENSIONS THAT ARE NOT STATED AS "MAX" OR "MIN" ARE ABSOLUTE.
8. "SIMILAR" OR "SIM" MEANS HAVING COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN AND/ OR ELEVATIONS.
9. "TYPICAL" OR "TYP." SHALL INDICATE STANDARD FOR OTHER LIKE CONDITIONS THROUGHOUT THE WORK.
10. HEIGHTS SHOWN OR NOTED AFF (ABOVE FINISHED FLOOR) ARE TO BE MEASURED FROM TOP OF FINISH FLOOR MATERIAL. EXCEPTIONS: AT AREAS THAT RECEIVE CARPET OR RESILIENT FLOORING, HEIGHTS ARE MEASURED FROM TOP OF CONCRETE.
11. IF COMPLETE DRAWINGS LESS THAN 30" X 42" (E1 SIZE), IT HAS BEEN REDUCED FROM ORIGINAL.
12. DETAILS SHOWN ON DRAWINGS SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY REFERENCED AT EACH LOCATION OR NOT.
13. INSTALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS, AND OTHER SUPPORTS, WHETHER SPECIFICALLY INDICATED OR NOT, FOR FIXTURES, EQUIPMENT, SHELVING AND CASEWORK.
14. PROVIDE SEISMIC BRACING AT ALL PARTITIONS, LIGHTING FIXTURES, AND CEILING CONSTRUCTION AS REQUIRED BY CODE.
15. PROVIDE GYPSUM WALL BOARD OR PLASTER BEHIND AND AROUND ALL OPENINGS INCLUDING WALL CABINETS, RECESSED FIRE HOSE VALVES AND FIRE EXTINGUISHER CABINETS, ELECTRICAL PANELS AND ELECTRICAL BOXES WHERE REQUIRED BY CODE TO MAINTAIN FIRE RATED CONSTRUCTION SHOWN ON DRAWINGS.
16. WOOD USED IN ALL EXTERIOR LOCATIONS INCLUDING THE ROOF OR LOCATED WITHIN 6 INCHES OF EARTH/SOIL SHALL BE PRESSURE TREATED WOOD. ALL EXTERIOR PLYWOOD SHEATING OR PLYWOOD LOCATED ON THE ROOF SHALL BE EXTERIOR GRADE WATER RESISTANT PLYWOOD, SIZE AND GRADE AS SPECIFIED AND AS SHOWN ON THE DRAWINGS.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL SUPERVISE ALL CUTTING AND PATCHING OF FINISHED WORK ALREADY INSTALLED. ALL REPLACEMENT WORK SHALL MATCH ADJOINING SURFACES WITH NO VISIBLE MARKINGS OF REDO/REPAIR WORK.
18. PROVIDE FIRESTOPPING AT ALL PENETRATIONS THROUGH RATED WALL, FLOOR, & ROOF ASSEMBLIES.
19. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL SUPPORTS, ANCHORS, CLIPS, FASTENERS, BRACES AND REINFORCEMENT FOR ALL ASSEMBLIES, SYSTEMS, FIXED EQUIPMENT, ACCESSORIES, AND SO FORTH, THAT ARE A PART OF THE STRUCTURAL SYSTEM, HAVE BEEN SHOWN, SPECIFIED, OR SIZED, OR ARE REASONABLY REQUIRED TO COMPLETE THE WORK IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL ALSO PROVIDE CALCULATIONS FOR ALL SUCH ITEMS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
20. IF A DISCREPANCY EXISTS BETWEEN DRAWINGS, BETWEEN DRAWINGS AND SPECIFICATIONS OR WITHIN THE SPECIFICATIONS, SUCH DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO CONTINUING SAID WORK. DO NOT PROCEED WITH AFFECTED WORK UNTIL THE VARIATION OR DISCREPANCY IS RESOLVED.
21. PROTECT ALL UTILITIES, IMPROVEMENTS AND STRUCTURES AND RESTORE TO NEW CONDITION AT NO ADDITIONAL COST TO THE CITY IF DAMAGED DURING THE COURSE OF WORK.
22. ISOLATE DISIMILAR METALS IN CONTACT WITH EACH OTHER.
23. INSTALL MANUFACTURED MATERIALS AND EQUIPMENT ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS U.O.N. ADVISE CITY REPRESENTATIVE OF VARIANCE OR CONFLICTS.
24. WORK REQUIRED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, ETC. NECESSARY TO COMPLETE THIS PROJECT. PROVIDE ALL SYSTEMS NOT INDICATED OR SPECIFIED, BUT REQUIRED, FOR A FINISHED, COMPLETE, AND FULLY OPERATIONAL PROJECT.

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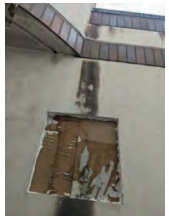
## ABBREVIATIONS

| | | | | | | | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| # | POUND, NUMBER | ARCH | ARCHITECT, ARCHITECTURAL | DWG | DRAWING | FOW | FACE OF WALL | MAX | MAXIMUM | PERIM | PERIMETER | SFRM | SPRAY APPLIED FIRE RESISTIVE MATERIAL | TOS | TOP OF STEEL |
| & | AND | BD | BOARD | EA | EACH | FRT | FIRE RETARDANT TREATED | MECH | MECHANICAL | PLAS | PLASTIC | SHT | SHEET | TPH | TOILET PAPER HOLDER |
| (E) | EXISTING | BIT | BITUMINOUS | EIFS | EXTERIOR INSULATION FINISH SYSTEM | FOT | FOOT, FEET | MET, MTL | METAL | PLYWD | PLYWOOD | SIM | SIMILAR | TSCD | TOILET SEAT COVER DISPENSER |
| (N) | NEW | BLDG | BUILDING | | | GA | GAUGE, GAGE | MFR | MANUFACTURER | PT | PAINT | SMD | SEE MECHANICAL DRAWINGS | UON | UNLESS OTHERWISE NOTED |
| > | ANGLE | BLKG | BLOCKING | EL, ELEV | ELEVATION, ELEVATOR | GL | GLAZING, GLASS | MIN | MINIMUM | PT | PRESSURE TREATED | SMS | SHEET METAL SCREW | VIF | VERIFY IN FIELD |
| @ | AT | BOT | BOTTOM | ELEC | ELECTRICAL | GND | GROUND | MTD | MOUNTED | PTD | PAINTED, PAPER TOWEL DISPENSER | SND | SANITARY NAPKIN DISPENSER OR DISPOSER | W/ | WITH |
| ACC | ACCESSIBLE | CBC | CALIFORNIA BUILDING CODE | ENCL | ENCLOSED / ENCLOSURE | GSM | GALVANIZED SHEET METAL | N/A | NOT APPLICABLE | RAD | RADIUS | SPD | SEE PLUMBING DRAWINGS | W/O | WITHOUT |
| ACOUS | ACOUSTICAL | CL | CENTERLINE | EOS | EDGE OF SLAB | GWB | GYPSUM WALL BOARD | NIC | NOT IN CONTRACT | RCP | REFLECTED CEIIUNG PLAN | SQ | SQUARE | WD | WOOD |
| ACP | ACCESS PANEL | CLR | CLEAR | EQ | EQUAL | GYP BD | GYPSUM BOARD | ND | NUMBER | RD | ROOF DRAIN | SS, SST | STAINLESS STEEL | WIN | WINDOW |
| ACT | ACOUSTICAL CEILING TILE | CONC | CONCRETE | EQMT | EQUIPMENT | HDW | HARDWARE | NTS | NOT TO SCALE | REQD | REQUIRED | SSD | SEE STRUCTURAL DRAWINGS | WO | WHERE OCCCURS |
| AD | AREA DRAIN | CONN | CONNECTION | EXP | EXPANSION | HM | HOLLOW METAL | O/ | OVER | RWL | RAINWATER LEADER | STD | STANDARD | WRB | WEATHER RESISTIVE BARRIER |
| ADDL | ADDITIONAL | CONST, CONS | CONSTRUCTION | FD | FLOOR DRAIN | HR | HOUR | OC | ON CENTER | SAF | SELF-ADHESIVE FLASHING | STL | STEEL | | |
| ADJ | ADJUSTABLE | CONT | CONTINUOUS | FE | FIRE EXTINGISHER | HSS | HOLLOW STRUCTURAL SECTION | OD | OUTSIDE DIAMETER | SCD | SEE CIVIL DRAWINGS | STOR | STORAGE | | |
| AFF | ABOVE FINISH FLOOR | CSK | COUNTERSUNK | FEC | FIRE EXTINGISHER CABINET | HT | HEIGHT | OD | OVERFLOW DRAIN | SCH, SCHED | SCHEDULE, SCHEDULED | TEMP | TEMPERED, TEMPERATURE | | |
| AL, ALUM | ALUMINUM | DET | DETAIL | FIX | FIXTURE | ID | INSIDE DIAMETER | OFCI | OWNER FURNISHED CONTRACTOR INSTALLED | SD | SOAP DISPENSER | TOC | TOP OF CURB | | |
| ALT | ALTERNATE | DIA OR DIAM | OR Ø DIAMETER | FLG | FLOOR, FLOORING | INSUL | INS



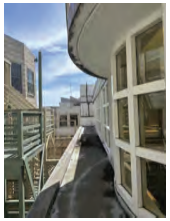
17 EIFS CONDITION AT EXT MEZZANINE
1/8" = 1'-0"

13 ROOF
1/8" = 1'-0"

9 ROOF
1/8" = 1'-0"

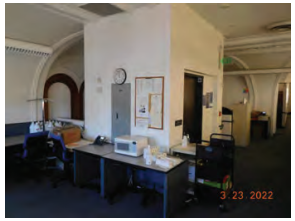
5 ROOF
1/8" = 1'-0"

1 ROOF
1/8" = 1'-0"



18 NORTH EXTERIOR MEZZANINE
1/8" = 1'-0"

14 WEST EXTERIOR MEZZANINE
1/8" = 1'-0"




10 MEZZANINE
1/8" = 1'-0"

6 MEZZANINE
1/8" = 1'-0"

2 SOUTH EXTERIOR MAIN READING ROOM
1/8" = 1'-0"

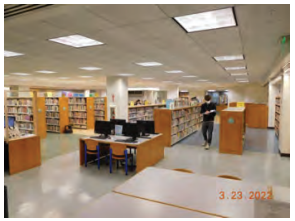
19 MAIN FLOOR
1/8" = 1'-0"

15 MAIN FLOOR FROM MEZ ABOVE
1/8" = 1'-0"

11 READING ROOM
1/8" = 1'-0"

7 READING ROOM
1/8" = 1'-0"

3 READING ROOM FROM MEZZANINE
1/8" = 1'-0"




20 GROUND FLOOR
1/8" = 1'-0"

16 GROUND FLOOR
1/8" = 1'-0"

12 GROUND FLOOR
1/8" = 1'-0"

8 GROUND FLOOR LOBBY
1/8" = 1'-0"

4 COMMUNITY ROOM
1/8" = 1'-0"

Original Sheet Size: 30" x 42"

BUREAU OF ARCHITECTURE

SAN FRANCISCO PUBLIC WORKS

Ron Alameida - Deputy Director & City Architect
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Drawing Title

EXISTING CONDITIONS PHOTOGRAPHS

Sheet No.

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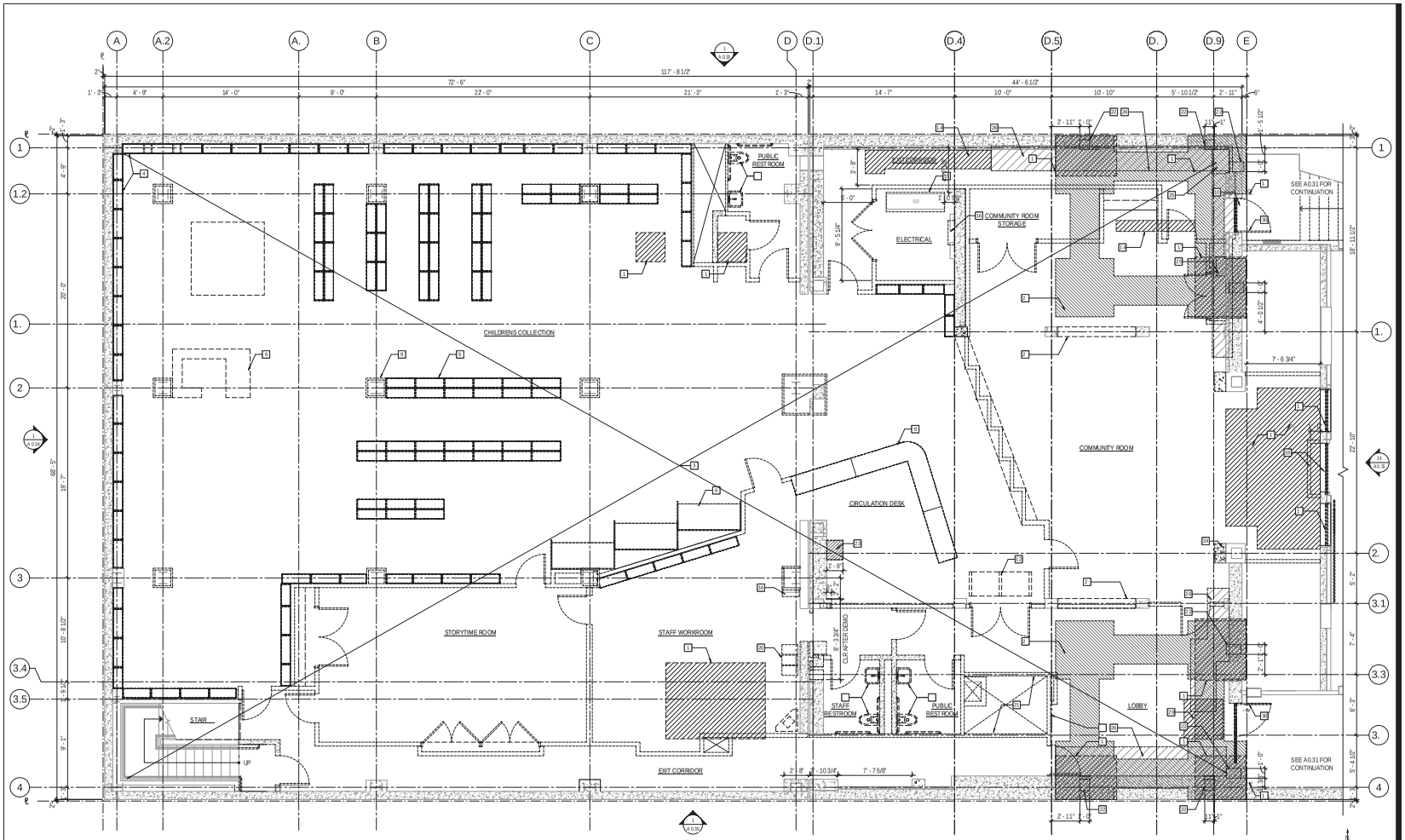
Scale 1/8" = 1'-0"




1 GROUND FLOOR DEMOLITION PLAN
1/4" = 1'-0"

## SHEET NOTES

1. REFER TO HISTORIC PRESERVATION DRAWINGS (R SERIES) IN THIS SET FOR ADDITIONAL DETAIL REGARDING EXTENT OF DEMOLITION AND PRESERVATION SCOPE OF WORK.
2. SEE A 2.16 FOR SLAB PLAN.
3. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL SPECIFICS REGARDING DEMOLITION, REPAIR, AND REPLACEMENT OF HISTORIC MATERIALS.
4. DEMOLITION SHALL BE DONE WITH CARE TO PROTECT EXISTING WORK TO REMAIN.
5. ALL DOORS, DOOR HARDWARE, FRAMES, AND THRESHOLDS ARE TO BE REMOVED. SALVAGE OF DOORS AND HARDWARE TO BE AT DISCRETION OF ARCHITECT.
6. SALVAGE ITEMS NOT SLATED FOR REINSTALLATION ARE TO BE DELIVERED TO THE OWNER FOR RE-USE ELSEWHERE OR DISPOSED OF AT THE DISCRETION OF THE OWNER & ARCHITECT. CONTRACTOR TO COORDINATE EXTENT OF SALVAGED FIXTURES AND EQUIYPMENT WITH THE ARCHITECT.
7. FOR MECHANICAL, ELECTRICAL, TELECOM, & PLUMBING PENETRATIONS SEE M.E.P.T. DRAWINGS. NOT ALL PENETRATIONS ARE SHOWN. CONTRACTOR TO COORDINATE SIGNIFICANT PENETRATIONS WITH ARCHITECT.
8. DO NOT COMMENCE DEMOLITION UNTIL REQUIRED BARRICADES AND BARRIERS ARE IN PLACE. PROVIDE CONSTRUCTION BARRICADES FOR WORK IN OR ADJACENT TO PUBLIC SPACES OR OCCUPIED SPACES.
9. PROVIDE PRE-DEMOLITION SURVEYS WHERE REQUIRED IN SPECIFICATIONS AND VERIFY (E) CONDITIONS AS REQUIRED BY SPECIFICATIONS OR DRAWINGS.
10. REVIEW ITEMS NOT INDICATED ON DWG BUT WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF THE WORK WITH THE CITY REPRESENTATIVE. REMOVE OR RETAIN ITEMS AS DIRECTED BY CITY REPRESENTATIVE.
11. REVIEW DRAWINGS AND SPECIFICATIONS FOR SPECIAL PROCEDURES FOR THE REMOVAL AND SALVAGE OF ITEMS INDICATED ON DWG OR IN SPECS.
12. REFER TO STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DOCUMENTS FOR ADDITIONAL DEMOLITION WORK. COORDINATE FULL EXTENT OF DEMOLITION WORK.
13. REPAIR AND REFINISH OR REPLACE MATERIALS, EQUIPMENT, FIXTURES AND FINISHES DAMAGED DUE TO DEMOLITION WORK IN ACCORDANCE WITH THE SPECIFICATIONS.
14. REMOVE (E) WALLS INDICATED AS DASHED IN THEIR ENTIRELY INCLUDING ALL FINISHES, FRAMING, INSULATION, AND MEP EQUIPMENT, UNLESS OTHERWISE NOTED.
15. COORDINATE AND TURN OFF UTILITIES TO BE REMOVED OR PROTECT THEM FROM DAMAGE.
16. REFER TO SLAB PLANS FOR ADDITIONAL DEMOLITION SCOPE OF WORK.
17. ALL EXISTING INTERIOR FLOOR FINISHES TO BE REMOVED AS REQUIRED TO ALLOW INSTALLATION OF NEW FLOORING AS SPECIFIED.
18. WHERE ELEVATOR, STAIRS, AND MEZZANINE CONSTRUCTION ARE TO BE DEMOLISHED, UON THESE SYSTEMS SHOULD BE REMOVED IN THEIR ENTIRETY INCLUDING ASSOCIATED STRUCTURE, PARTITIONS (FULL HT & PARTIAL HT), EQUIPMENT, PIPING, RAILINGS, CONDUIT, WIRING ETC.

## KEY NOTES

1 REMOVE (E) SLAB, SSD
2 REMOVE (E) PARTITIONS WHERE INDICATED
3 REMOVE (E) FLOORING, SEE GENERAL NOTE #5
3 REMOVE ALL FINISH FLOORING
4 REMOVE (E) BOOKCASES ALONG WALL
5 REMOVE (E) CASEWORK ON FLOOR
6 REMOVE (E) FIXTURES AND BUILT-INS
7 REMOVE (E) PLUMBING FIXTURES WHERE INDICATED
8 SALVAGE ALL (E) PLAQUES IN BUILDING
9 REMOVE (E) FURRING AT COLUMNS, TYP
10 SALVAGE (E) DOOR
11 REMOVE (E) DISPLAY WALL
12 SALVAGE (E) LIBRARY SECURITY EQUIPMENT FOR OWNER
14 REMOVE (E) SLAB FOR (N) PLUMBING CONNECTIONS, SPB
15 AND REMOVE (E) MAIN SWITCHBOARD AND HOUSEKEEPING PAD FOR REPLACEMENT, SEE SED AND A 2.11
16 REMOVE (E) ELEC PANEL SED
17 (E) HOSE BIB TO REMAIN
18 DEMOLISH (E) ALUMINUM WINDOW
19 DEMOLISH (E) PARTITIONS DISPLAY CASE, AND CEMENT PLASTER AT EXTERIOR WALL OPENING
20 REMOVE (E) LOCKERS
21 DEMOLISH (E) ELEVATOR AND ELEVATOR PITWALL AS REQUIRED FOR INFILL AND NEW SLAB OVER PIT, SSD
22 REMOVE (E) CONC AS REQ'D FOR INSTALLATION OF (N) HSS COLUMN, SSD & SEE A0.51. PROVIDE TEMP SHORING AS REQ'D TYP OF 8
23 REMOVE COLUMN D.2/2.8 AND BEAM ABOVE
24 REMOVE COLUMN D.9/2.8 AND BEAM ABOVE
25 REMOVE CONC COLUMN FLUSH TO FACE OF ADJACENT SHOTCRETE. PROCIDE TEMP. SHORING & REBAR COVERAGE AS REQUIRED, SSD
26 REMOVE FOUNDATION AND WALL BELOW SOG. PROVIDE TEMP. SHORING AS REQUIRED, SSD
27 REMOVE SOG AND SOIL FOR (N) MICROPILE FOUNDATION AND GRADE BEAMS, SDD
28 REMOVE (E) CONC BEAM ABOVE, SSD
29 DEMOLISH FLOOR SLAB AT 1" DEPTH
30 DEMOLISH (E) DOOR, FRAME, TRANSOM, SIDELITE, AND BOOK DROP, WHERE APPLICABLE

## LEGEND

HALF-TONE LINES INDICATE EXISTING CONSTRUCTION TO REMAIN

DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE DEMOLISHED

DEMOLISH PORTION OF EXISTING CONCRETE SLAB OR EXISTING BRICK MASONRY WALL, SSD AND EXCAVATE AS REQUIRED TO PLACE NEW WORK.

DEMOLISH EXISTING DOOR, FRAME, THRESHOLD, AND HARDWARE. DEMOLISH SIDELITE/ TRANSOMS, AND BOOK DROPS WHERE APPLICABLE.

Original Sheet Size: 30" x 42"

BUREAU OF ARCHITECTURE

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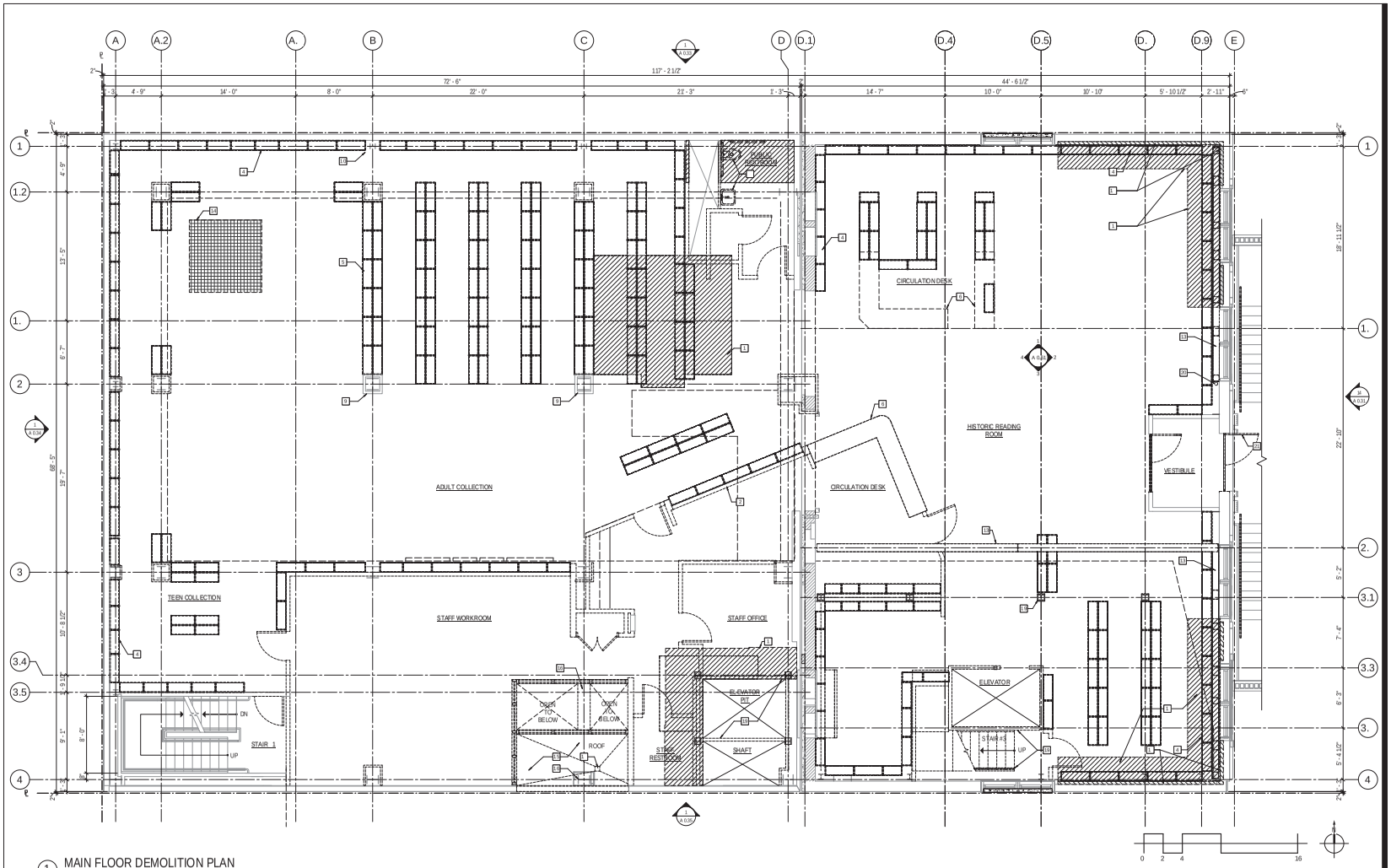
Drawing Title

GROUND FLOOR DEMOLITION PLAN

Sheet No. A 0.21

Scale As indicated




1 MAIN FLOOR DEMOLITION PLAN
1/4" = 1'-0"

## SHEET NOTES

1. REFER TO HISTORIC PRESERVATION DRAWINGS (R SERIES) IN THIS SET FOR ADDITIONAL DETAIL REGARDING EXTENT OF DEMOLITION AND PRESERVATION SCOPE OF WORK.
2. SEE A 2.17 FOR SLAB PLAN.
3. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL SPECIFICS REGARDING DEMOLITION, REPAIR, AND REPLACEMENT OF HISTORIC MATERIALS.
4. DEMOLITION SHALL BE DONE WITH CARE TO PROTECT EXISTING WORK TO REMAIN.
5. ALL DOORS, DOOR HARDWARE, FRAMES, AND THRESHOLDS ARE TO BE REMOVED. SALVAGE OF DOORS AND HARDWARE TO BE AT DISCRETION OF ARCHITECT.
6. SALVAGE ITEMS NOT SLATED FOR REINSTALLATION ARE TO BE DELIVERED TO THE OWNER FOR RE-USE ELSEWHERE OR DISPOSED OF AT THE DISCRETION OF THE OWNER & ARCHITECT. CONTRACTOR TO COORDINATE EXTENT OF SALVAGED FIXTURES AND EQUIPMENT WITH THE ARCHITECT.
7. FOR MECHANICAL, ELECTRICAL, TELECOM, & PLUMBING PENETRATIONS SEE M.E.P.T. DRAWINGS. NOT ALL PENETRATIONS ARE SHOWN. CONTRACTOR TO COORDINATE SIGNIFICANT PENETRATIONS WITH ARCHITECT.
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12. REFER TO STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DOCUMENTS FOR ADDITIONAL DEMOLITION WORK. COORDINATE FULL EXTENT OF DEMOLITION WORK.
13. REPAIR AND REFINISH OR REPLACE MATERIALS, EQUIPMENT, FIXTURES AND FINISHES DAMAGED DUE TO DEMOLITION WORK IN ACCORDANCE WITH THE SPECIFICATIONS.
14. REMOVE (E) WALLS INDICATED AS DASHED IN THEIR ENTIRELY INCLUDING ALL FINISHES, FRAMING, INSULATION, AND MEP EQUIPMENT, UNLESS OTHERWISE NOTED.
15. COORDINATE AND TURNOFF UTILITIES TO BE REMOVED OR PROTECT THEM FROM DAMAGE.
16. REFER TO SLAB PLANS FOR ADDITIONAL DEMOLITION SCOPE OF WORK.
17. ALL EXISTING INTERIOR FLOOR FINISHES TO BE REMOVED AS REQUIRED TO ALLOW INSTALLATION OF NEW FLOORING AS SPECIFIED.
18. WHERE ELEVATOR, STAIRS, AND MEZZANINE CONSTRUCTION ARE TO BE DEMOLISHED, UON THESE SYSTEMS SHOULD BE REMOVED IN THEIR ENTIRETY INCLUDING ASSOCIATED STRUCTURE, PARTITIONS (FULL HT & PARTIAL HT), EQUIPMENT, PIPING, RAILINGS, CONDUIT, WIRING ETC.
19. THE MAIN FLOOR READING ROOM IS SPECIFICALLY LANDMARKED AND ALL FINISHES IN THIS AREA ARE TO BE CAREFULLY PROTECTED UNLESS NOTED IN THESE DRAWINGS. EXTENT OF DEMOLITION IN THE READING ROOM, WHERE INDICATED, IS TO BE CAREFULLY EXECUTED TO MINIMIZE EXTENT OF DEMOLITION.
20. SALVAGE ALL EXISITNG PLAQUES IN BUILDING.

## KEY NOTES

1 REMOVE (E) SLAB, SEE SLAB PLANS & SSD
2 REMOVE (E) PARTITIONS WHERE INDICATED
3 REMOVE (E) LINOLEUM FLOORING THROUGHOUT, TYP
4 REMOVE (E) BOOKCASES ALONG WALL
5 REMOVE (E) CASEWORK ON FLOOR
6 REMOVE (E) FIXTURES AND BUILT-INS
7 REMOVE (E) PLUMBING FIXTURES WHERE INDICATED
9 PROTECT (E) ART AT COLUMNS AND BEAMS. (E) FURRING TO REMAIN
10 REMOVE (E) FURRING & PARTITIONS ABOVE 42" CONC WALL AND COLUMNS
13 (E) STEEL BRACING TO BE DEMOUSHED SSD
14 REMOVE (E) GLASS BLOCK FLOORING
15 REMOVE (E) ROOFING AND FLASHING
16 REMOVE (E) EIFS AT EXTERIOR BEAM OR COLUMN
17 SALVAGE (E) ROOF DRAIN FOR REUSE
18 REMOVE INTERIOR WYTHE OF BRICK WALL, SSD
19 SEE SHEET NOTE #18
20 REMOVE (E) RAIN WATER LEADER, SPD
21 DEMOLISH (E) DOOR, FRAME, TRANSOM, SIDELITE, AND BOOK DROP, WHERE APPLICABLE

## LEGEND

HALF-TONE LINES INDICATE EXISTING CONSTRUCTION TO REMAIN

DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE DEMOUSHED

DEMOLISH PORTION OF EXISTING CONCRETE SLAB OR EXISTING BRICK MASONRY WALL. SSD AND EXCAVATE AS REQUIRED TO PLACE NEW WORK.

DEMOLISH EXISTING DOOR, FRAME, THRESHOL, AND HARDWARE. DEMOLISH SIDELITE/ TRANSOMS, AND BOOK DROPS WHERE APPLICABLE.

Original Sheet Size: 30" x 42"


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MAIN FLOOR DEMOLITION PLAN

Sheet No. A 0.22

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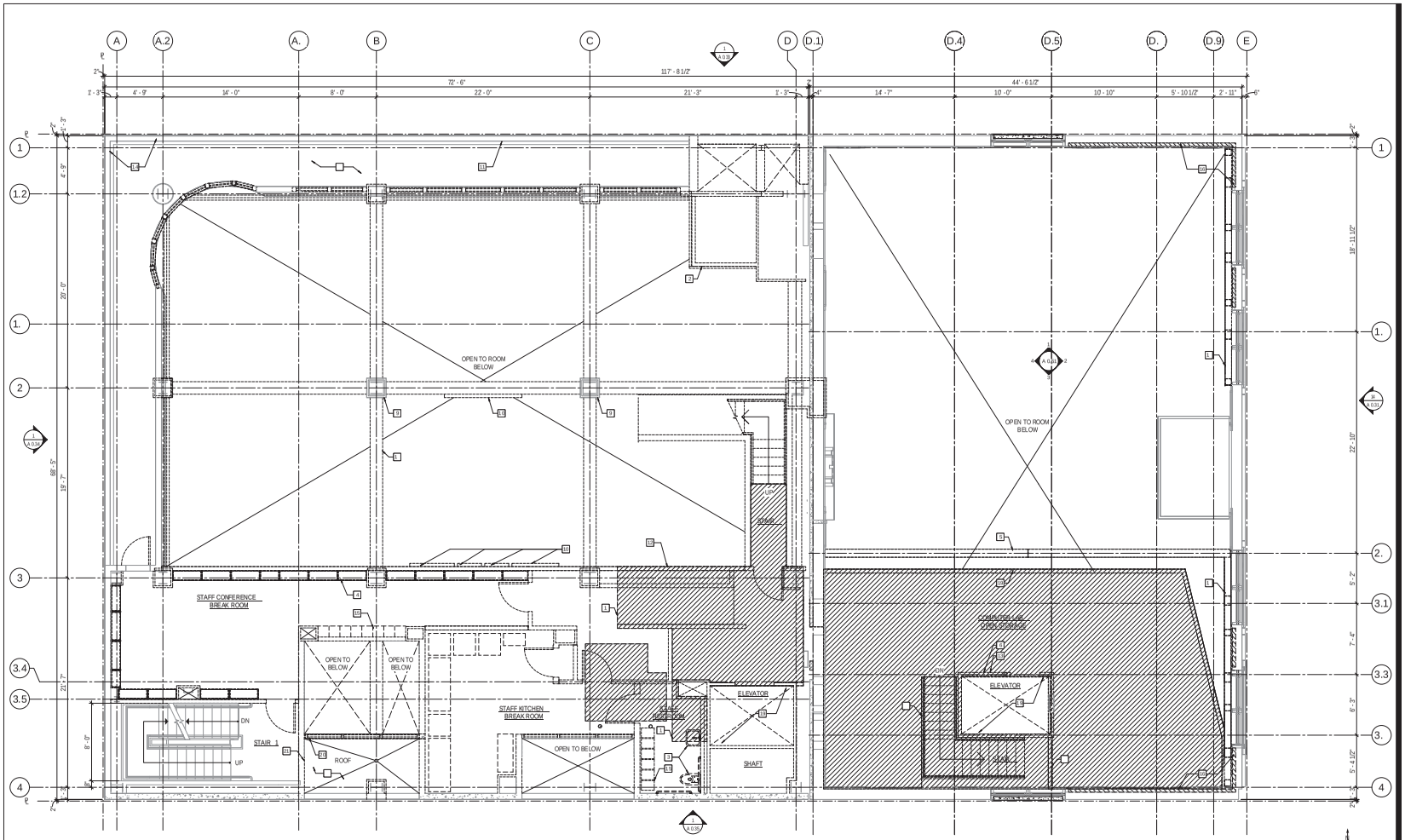


1 MEZZANINE DEMOLITION PLAN
1/4" = 1'-0"

## SHEET NOTES

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2. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL SPECIFICS REGARDING DEMOLITION, REPAIR, AND REPLACEMENT OF HISTORIC MATERIALS.
3. DEMOLITION SHALL BE DONE WITH CARE TO PROTECT EXISTING WORK TO REMAIN.
4. EXISTING BUILT-IN WOOD LIBRARY SHELVING IS PART OF THE HISTORIC BUILDING INTERIOR AND SHOULD BE CAREFULLY REMOVED AND SALVAGED FOR REINSTALLATION AS INDICATED IN THE DRAWINGS. COORDINATE REMOVAL WITH THE ARCHITECT.
5. ALL DOORS, DOOR HARDWARE, FRAMES, AND THRESHOLDS ARE TO BE REMOVED. SALVAGE OF DOORS AND HARDWARE TO BE AT DISCRETION OF ARCHITECT.
6. SALVAGE ITEMS NOT SLATED FOR REINSTALLATION ARE TO BE DELIVERED TO THE OWNER FOR RE-USE ELSEWHERE OR DISPOSED OF AT THE DISCRETION OF THE OWNER & ARCHITECT. CONTRACTOR TO COORDINATE EXTENT OF SALVAGED FIXTURES AND EQUIVIPMENT WITH THE ARCHITECT.
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13. REPAIR AND REFINISH OR REPLACE MATERIALS, EQUIPMENT, FIXTURES AND FINISHES DAMAGED DUE TO DEMOLITION WORK IN ACCORDANCE WITH THE SPECIFICATIONS.
14. REMOVE (E) WALLS INDICATED AS DASHED IN THEIR ENTIRELY INCLUDING ALL FINISHES, FRAMING, INSULATION, AND MEP EQUIPMENT, UNLESS OTHERWISE NOTED.
15. COORDINATE AND TURN-OF FUTILITIES TO BE REMOVED OR PROTECT THEM FROM DAMAGE.
16. REFER TO SLAB PLANS FOR ADDITIONAL DEMOLITION SCOPE OF WORK.
17. ALL EXISTING INTERIOR FLOOR FINISHES TO BE REMOVED AS REQUIRED TO ALLOW INSTALLATION OF NEW FLORING AS SPECIFIED.
18. WHERE ELEVATOR, STAIRS, AND MEZZANINE CONSTRUCTION ARE TO BE DEMOLISHED, UON THESE SYSTEMS SHOULD BE REMOVED IN THEIR ENTIRETY INCLUDING ASSOCIATED STRUCTURE, PARTITIONS (FULL HT & PARTIAL HT), EQUIPMENT, PIPING, RAILINGS, CONDUIT, WIRING ETC.
19. THE MAIN FLOOR READING ROOM IS SPECIFCALLY LANDMARKED AND ALL FINISHES IN THIS AREA ARE TO BE CAREFULLY PROTECTED UNLESS NOTED IN THESE DRAWINGS. EXTENT OF DEMOLITION IN THE READING ROOM, WHERE INDICATED, IS TO BE CAREFULLY EXECUTED TO MINIMIZE EXTENT OF DEMOLITION.

## KEY NOTES

1. REMOVE (E) SLAB, SEE A2.18 FOR SLAB PLAN
2. REMOVE (E) MEZZANINE PARTITIONS, WALLS, STRUCTURE, AND FLOORS
3. REMOVE (E) PLUMBING FIXTURES WHERE INDICATED
4. SALVAGE (E) BOOKCASES ALONG WALL
5. REMOVE (E) TRUSS, FOOTINGS, TIE-BACKS
6. SALVAGE ALL (E) PLAQUES IN BUILDING
7. REMOVE (E) STAIRS, LANDINGS, RAILING, AND LOW WALLS
8. REMOVE (E) PEDESTRIAN TRAFFIC COATING ROOFING SYSTEM
9. PROTECT (E) COLUMNS AND COPPER LEAF ART SURFACE, SEE A9.81
10. SALVAGE (E) ART FOR REINSTALLATION, SEE A9.81
11. REMOVE (E) FLASHING AT PARAPET
12. REMOVE (E) FLOOR AND RAMP SEE SLAB PLANS FOR DIMENSIONS AND SSD
13. REMOVE (E) ELEVATOR SHAFT WALLS SEE SLAB PLANS FOR DIMENSIONS
14. REMOVE (E) METAL CURB FLASHING, PROTECT (E) CONC CURB
15. REMOVE (E) LOCKERS
16. REMOVE INTERIOR WYTHE OF BRICK WALL, SSD
17. REMOVE (E) BRACE AT HISTORIC WINDOW, SALVAGE AND PROTECT EXISTING ARCH WINDOW
18. REMOVE (E) GWB BEAM WRAPS. TYP
19. SEE SHEET NOTE #18
20. DEMO (E) WALL FOR (N) OPENING
21. DEMO (E) WALL FOR (N) DOOR OPENING

## LEGEND

HALF-TONE LINES INDICATE EXISTING CONSTRUCTION TO REMAIN

DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE DEMOLISHED

DEMOLISH PORTION OF EXISTING CONCRETE SLAB OR EXISTING BRICK MASONRY WALL, SSD AND EXCAVATE AS REQUIRED TO PLACE NEW WORK.

DEMOLISH EXISTING DOOR, FRAME, THRESHOL, AND HARDWARE. DEMOLISH SIDELITEM TRANSOMS, AND BOOK DROPS WHERE APPLICABLE.

Original Sheet Size: 30" x 42"


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Drawing Title

MEZZANINE DEMOLITION PLAN

Sheet No. A 0.23

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Contractor to verify all dimensions in the field prior to ordering materials or performing work. Do not scale drawings. Contractor to report any discrepancies to the Architect.
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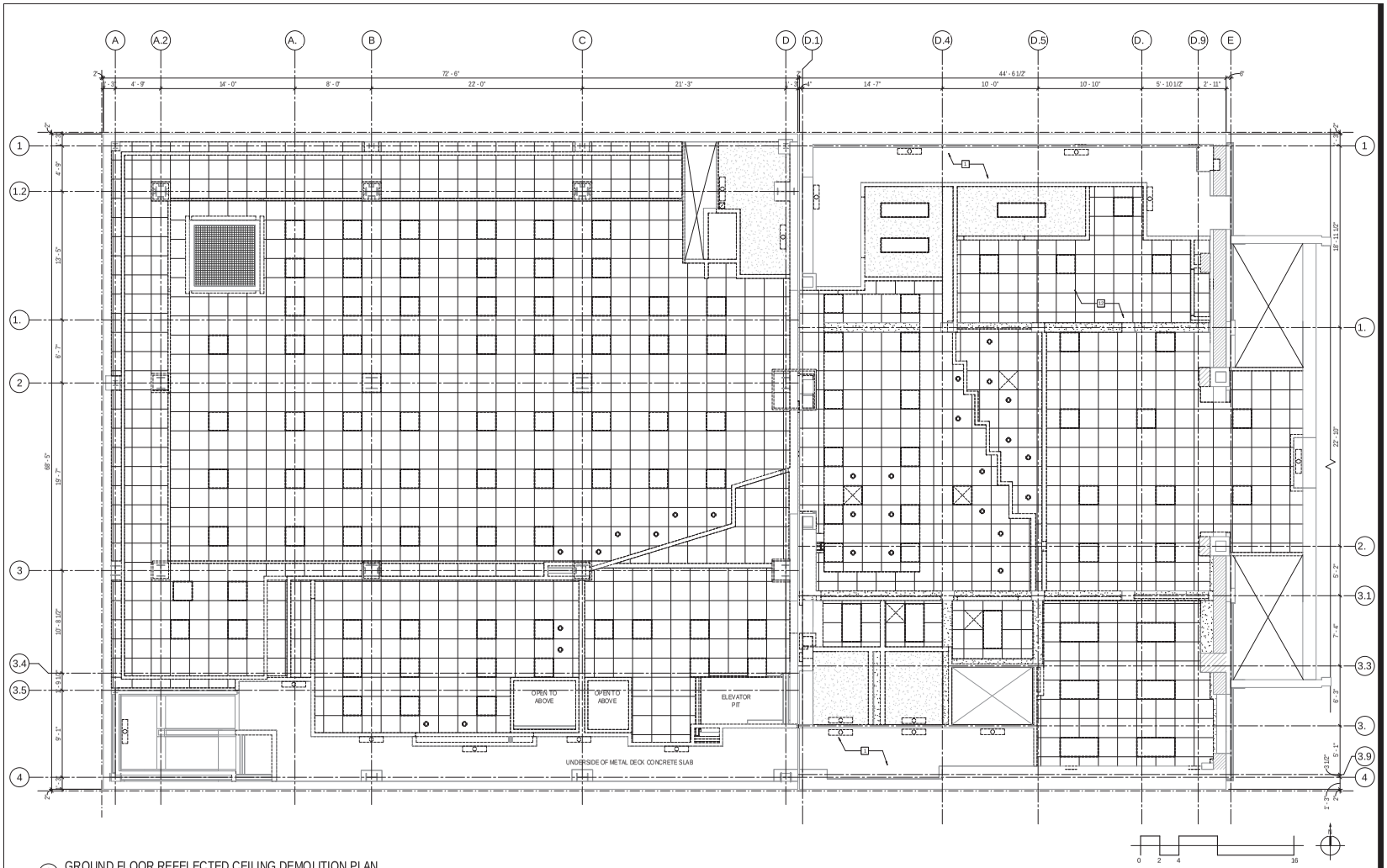


1 GROUND FLOOR REFELECTED CEILING DEMOLITION PLAN
1/4" = 1'-0"

## SHEET NOTES

## KEY NOTES

1. REMOVE (E) ROOFING TO CONC DECK, EQUIPMENT, AND DUCTS, SMD
2. REMOVE (E) ROOF DECK FOR (N) ELEVATOR SHAFT SEE ELEVATOR DRAWINGS AND SLAB PLANS FOR DIMENSIONS
4. REMOVE (E) ROOF DECK FOR (N) STAIR. SEE SLAB PLANS FOR DIMENSIONS.
5. REMOVE (E) ROOF CURBS WHERE INDICATED
6. REMOVE (E) GUARDRAIL
7. REMOVE (E) FENCE AND FOOTINGS WHERE INDICATED
8. REMOVE (E) STAIR TOWER, DOOR, AND CURBS. SEE SLAB PLANS FOR DIMENSIONS.
9. REMOVE (E) MECHANICAL AND ELEVATOR ROOM, EQUIPMENT CURBS, PLUMBING, AND CONDUIT
10. REMOVE (E) GLASS, EXISTING STRUCTURE TO REMAIN
11. REMOVE (E) PHOTOVOLTAIC PANELS & ASSOCIATED EQUIPMENT
12. REMOVE (E) LADDER
13. SALVAGE (E) DRAINS AND OVERFLOW DRAINS FOR REINSTALLATION AFTER INSTALLATION OF (N) ROOFING, TYP

DEMO 4'-0" WALL MOUNTED LIGHT FIXTURE

DEMO 2'-0" WALL MOUNTED LIGHT FIXTURE

REMOVE AND SALVAGE (E) ARTWORK LIGHTING

## LEGEND

DEMO (E) GYP BOARD CEILING

DEMO (E) RECESSED LIGHT

DEMO (E) SUPPLY DIFFUSER

DEMO (E) SUPPLY DIFFUSER

DEMO (E) RETURN REGISTER

DEMO (E) RECESSED LIGHTING FIXTURE

DEMO (E) BRICK

DEMO (E) PLASTER

Original Sheet Size: 30" x 42"


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Drawing Title

GROUND FLOOR REFLECTED CEILING DEMOLITION PLAN

Sheet No. A 0.25

Scale As indicated

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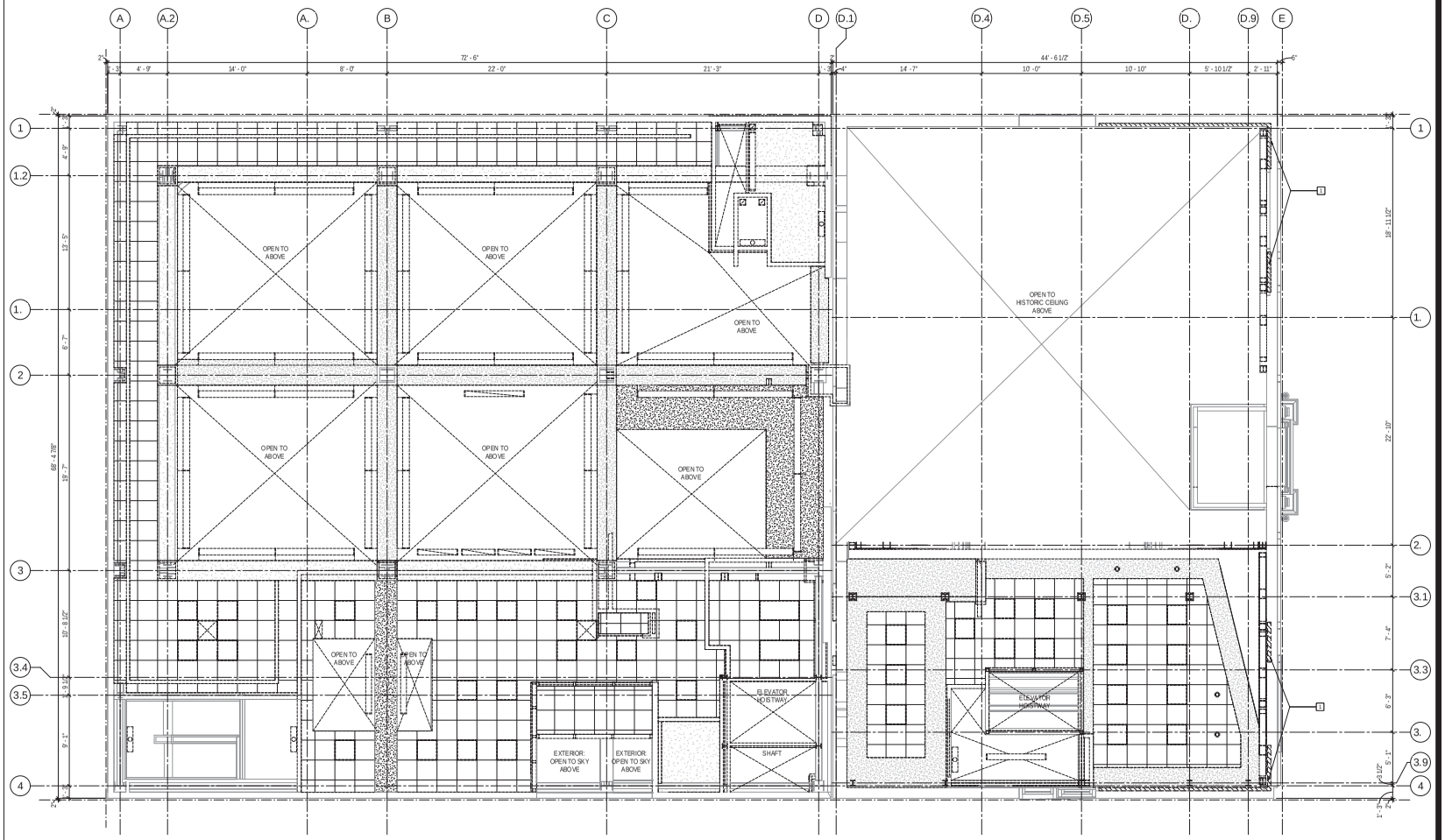


1 MAIN FLOOR REFLECTED CEILING DEMOLITION PLAN
1/4" = 1'-0"

## SHEET NOTES

## KEY NOTES

1 DEMOLISH INTERIOR FACE OF BRICK WALL, SSD

DEMO 4'-0" WALL MOUNTED LIGHT FIXTURE

DEMO 2'-0" WALL MOUNTED LIGHT FIXTURE

REMOVE AND SALVAGE (E) ART WORK LIGHTING

## LEGEND

DEMO (E) GYP BOARD CEILING

DEMO (E) RECESSED LIGHT

DEMO (E) SUPPLY DIFFUSER

DEMO (E) SUPPLY DIFFUSER

DEMO (E) RETURN REGISTER

DEMO (E) RECESSED LIGHTING FIXTURE

DEMO (E) BRICK

DEMO (E) PLASTER

Original Sheet Size: 30" x 42"

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Drawing Title

MAIN FLOOR REFLECTED CEILING DEMOLITION PLAN

Sheet No. A 0.26

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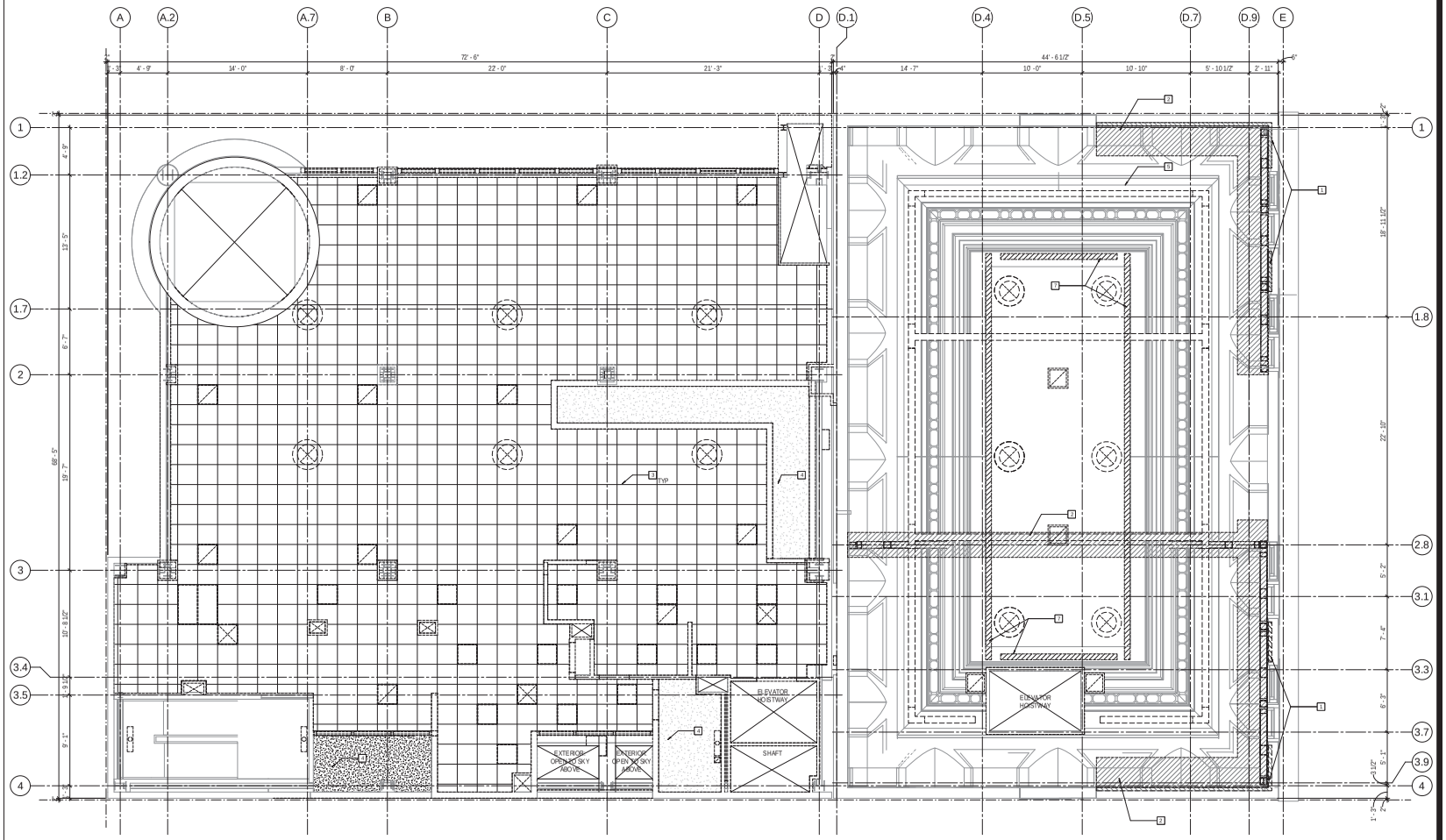


1 MEZZANINE REFLECTED CEILING DEMOLITION PLAN
1/4" = 1'-0"

## SHEET NOTES

1. NOTE TO PLANNER - QUANTITY OF DEMOLITION AND REMOVAL OF EXISTING PLASTER CEILING IN MAIN READING ROOM 201 IS APPROXIMATELY 17% OF TOTAL CEILING AREA IN THAT ROOM.

## KEY NOTES

1. CAREFULLY DEMOLISH WYTHE OF (E) BRICK MASONRY EXTERIOR WALL. REFER TO STRUCTURAL DRAWINGS FOR REQUIRED EXTENT OF DEMOLITION.
2. REMOVE (E) PLASTER CEILING AS REQUIRED FOR DEMOLITION OF (E) STRUCTURAL BRACES AND CONSTRUCTION OF NEW STRUCTURAL REINFORCEMENT. REFER TO HISTORIC PRESERVATION PROCEDURES FOR ARCHITECTS APPROVAL, SHOWN HATCHED
3. DEMOLISH (E) 2' X 2' ACT CEILING
4. DEMOLISH (E) SUSPENDED GWB CEILIONG/SOFFIT, TYP
5. REMOVE (E) LINEAR LIGHT FIXTURES
7. REMOVE (E) PLASTER CEILING ON AS REQUIRED FOR (N) LINEAR MECH DIFFUSERS, SMD

## LEGEND

- DEMO (E) GYP BOARD CEILING
- DEMO (E) RECESSED LIGHT
- DEMO (E) SUPPLY DIFFUSER
- DEMO (E) SUPPLY DIFFUSER
- DEMO (E) RETURN REGISTER
- DEMO (E) RECESSED LIGHTING FIXTURE
- DEMO (E) BRICK
- DEMO (E) PLASTER
- DEMO 4'-0" WALL MOUNTED LIGHT FIXTURE
- DEMO 2'-0" WALL MOUNTED LIGHT FIXTURE
- REMOVE AND SALVAGE (E) ART WORK LIGHTING

Original Sheet Size: 30" x 42"


BUREAU OF ARCHITECTURE

SAN FRANCISCO PUBLIC WORKS

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CHINATOWN BRANCH

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Drawing Title

MEZZANINE REFLECTED CEILING DEMOLITION PLAN

Sheet No. A 0.27

Scale As indicated

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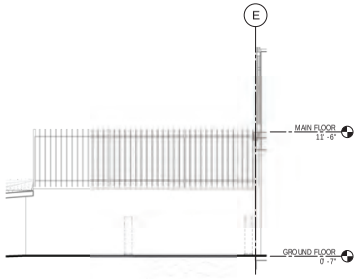
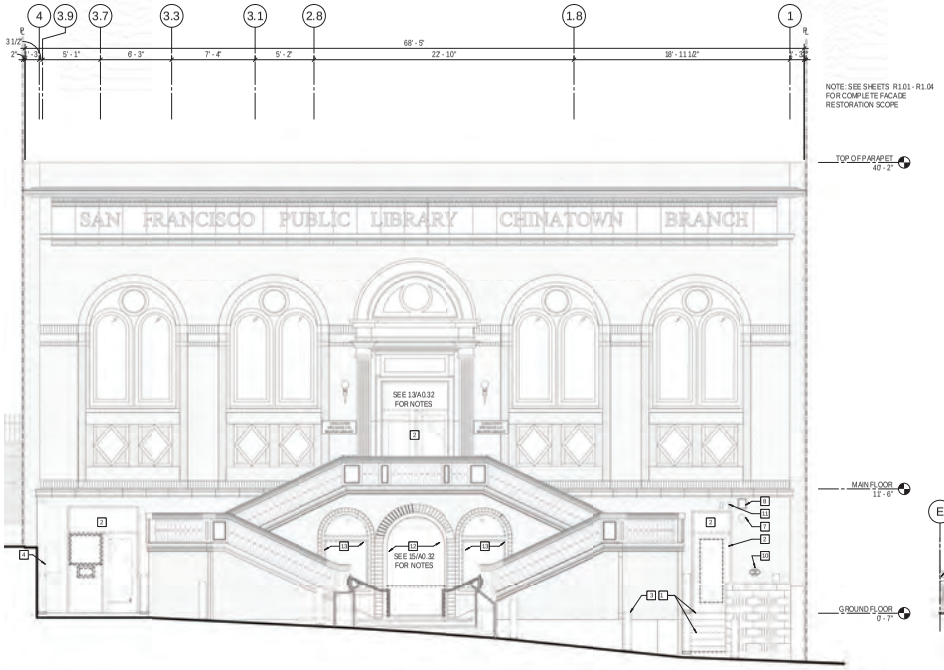
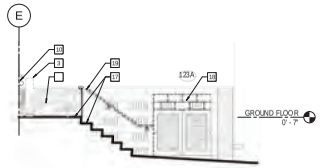



18 NORTH DEMOLITION ELEVATION AT SOUTH ENTRANCE
1/4" = 1'-0"

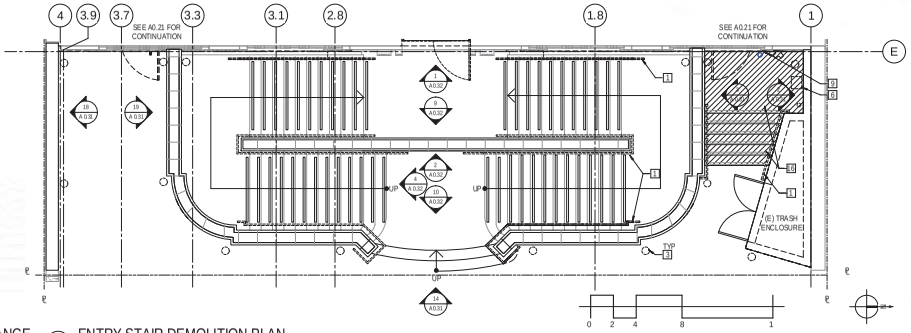



14 EAST EXTERIOR DEMOLITION ELEVATION
1/4" = 1'-0"

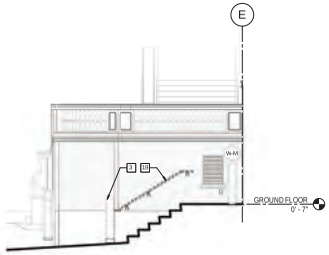



2 SOUTH DEMOLITION ELEVATION AT EXIT STAIR
1/4" = 1'-0"

19 SOUTH DEMOLITION ELEVATION AT SOUTH ENTRANCE
1/4" = 1'-0"




15 ENTRY STAIR DEMOLITION PLAN
1/4" = 1'-0"




3 NORTH DEMOLITION ELEVATION AT ENTRY STAIR
1/4" = 1'-0"

## SHEET NOTES

1. REFER TO HISTORIC PRESERVATION DRAWINGS (R SERIES) IN THIS SET FOR ADDITIONAL DETAIL REGARDING EXTENT OF DEMOLITION AND PRESERVATION SCOPE OF WORK.
2. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL SPECIFICS REGARDING DEMOLITION, REPAIR, AND REPLACEMENT OF HISTORIC MATERIALS.
3. DEMOLITION SHALL BE DONE WITH CARE TO PROTECT EXISTING WORK TO REMAIN.
4. WHERE EXTERIOR WALL MATERIAL REQUIRES REMOVAL, EACH TILE OR BRICK IS TO BE CAREFULLY REMOVED AND SALVAGED FOR REUSE OR STORAGE FOR LATER REUSE BY OWNER. MATERIAL SHOULD BE REMOVED WITH PRECISION SO AS NOT TO DAMAGE ADJACENT CONSTRUCTION TO REMAIN. SPECIFICALLY INDICATED.
5. ALL HISTORIC DOORS, DOOR HARDWARE, FRAMES, AND THRESHOLDS THAT ARE REMOVED SHOULD BE SALVAGED FOR REUSE AS DEPICTED IN THE DRAWINGS OR AT THE DISCRETION OF ARCHITECT.
6. SALVAGE ITEMS NOT SLATED FOR REINSTALLATION ARE TO BE DELIVERED TO THE OWNER FOR RE-USE ELSEWHERE OR DISPOSED OF AT THE DISCRETION OF THE OWNER ARCHITECT. CONTRACTOR TO COORDINATE EXTENT OF SALVAGED FIXTURES AND EQUIPMENT WITH THE ARCHITECT.
7. DO NOT COMMENCE DEMOLITION UNTIL REQUIRED BARRICADES AND BARRIERS ARE IN PLACE. PROVIDE CONSTRUCTION BARRICADES FOR WORK IN OR ADJACENT TO PUBLIC SPACES OR OCCUPIED SPACES.
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12. REPAIR AND REFINISH OR REPLACE MATERIALS, EQUIPMENT, FIXTURES AND FINISHES DAMAGED DUE TO DEMOLITION WORK IN ACCORDANCE WITH THE SPECIFICATIONS.

## KEY NOTES

1. REMOVE (E) HANDRAILS
2. DEMOLISH (E) DOOR, FRAME, TRANSOM, SIDELITE, AND BOOK DROP, WHERE APPLICABLE
3. REMOVE (E) BOLLARD LIGHTS, FOUNDATION, WIRING CONDUIT
4. PROTECT (E) SIGNAGE TO REMAIN
5. (E) FOUNDATION DRAIN SUMP CLEAN OUT TO REMAIN
6. COORDINATE PERMANENT REMOVAL OF GAS METER AND GAS SERVICES WITH PG E
7. REMOVE (E) FIRE ALARM BELL
8. PROTECT (E) FDC CONNECTION TO REMAIN
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16. DEMOLISH (E) STAIRS LANDING, SHOWN HATCHED
17. REMOVE STAIR, LANDING, PROTECT (E) UTILITIES BELOW, SCD
18. REMOVE CMU COURSES, SEE 2/A3.11
19. REMOVE (E) HANDRAIL

## LEGEND

HALF-TONE LINES INDICATE EXISTING CONSTRUCTION TO REMAIN

DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE DEMOLISHED

EXISTING BRICK MASONRY

Original Sheet Size: 30" x 42"


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Drawn Author
Checked Checker

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Drawing Title

EAST DEMOLITION BUILDING ELEVATION ENTRY STAIR DEMOLITION PLAN

Sheet No. A 0.31

Scale As indicated


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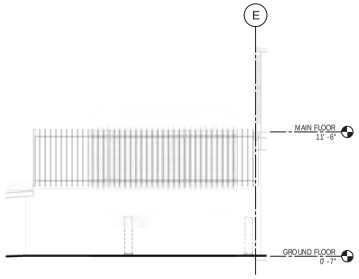
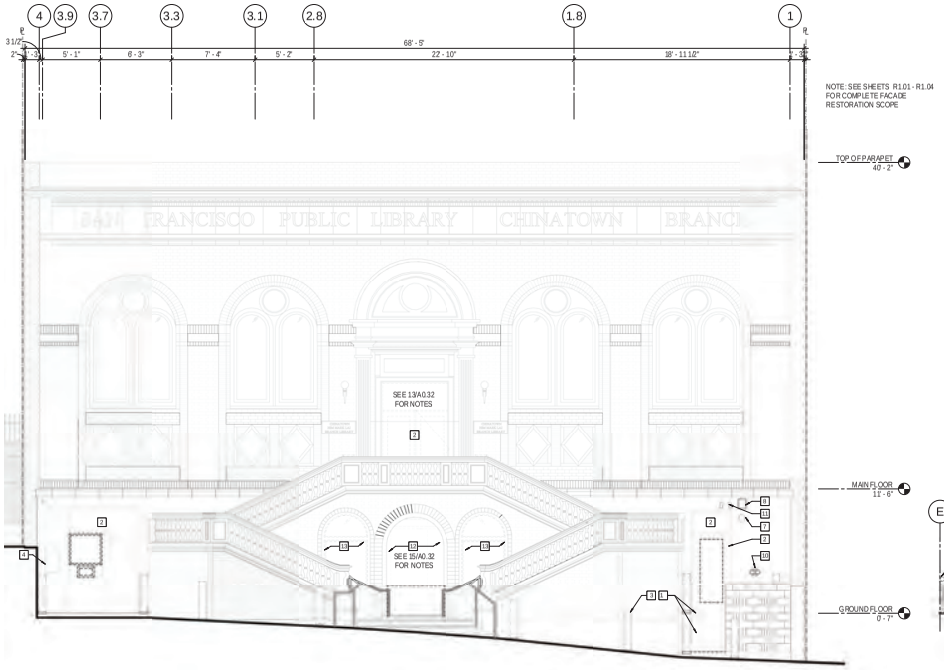



18 NORTH DEMOLITION ELEVATION AT SOUTH ENTRANCE
1/4" = 1'-0"




14 EAST EXTERIOR DEMOLITION ELEVATION
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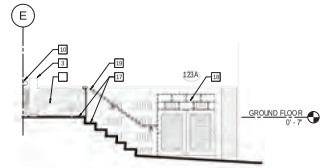


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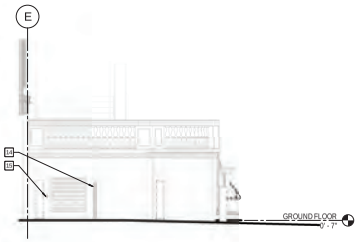


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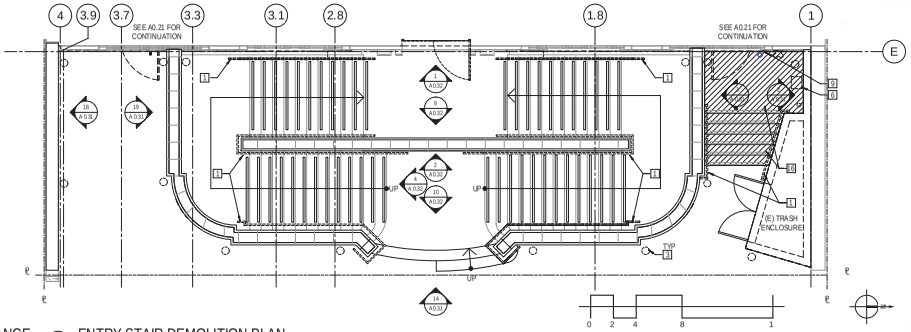


15 ENTRY STAIR DEMOLITION PLAN
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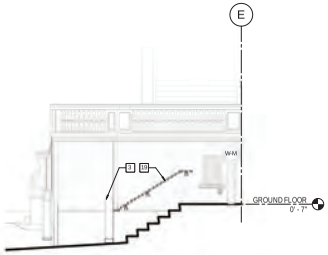


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## LEGEND

HALF-TONE LINES INDICATE EXISTING CONSTRUCTION TO REMAIN

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EXISTING BRICK MASONRY

Original Sheet Size: 30" x 42"


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EAST DEMOLITION BUILDING ELEVATION ENTRY STAIR DEMOLITION PLAN

Sheet No. A 0.31

Scale As indicated


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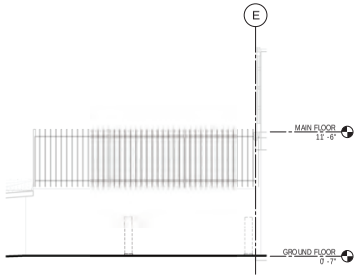
Tuesday, January 23, 2024

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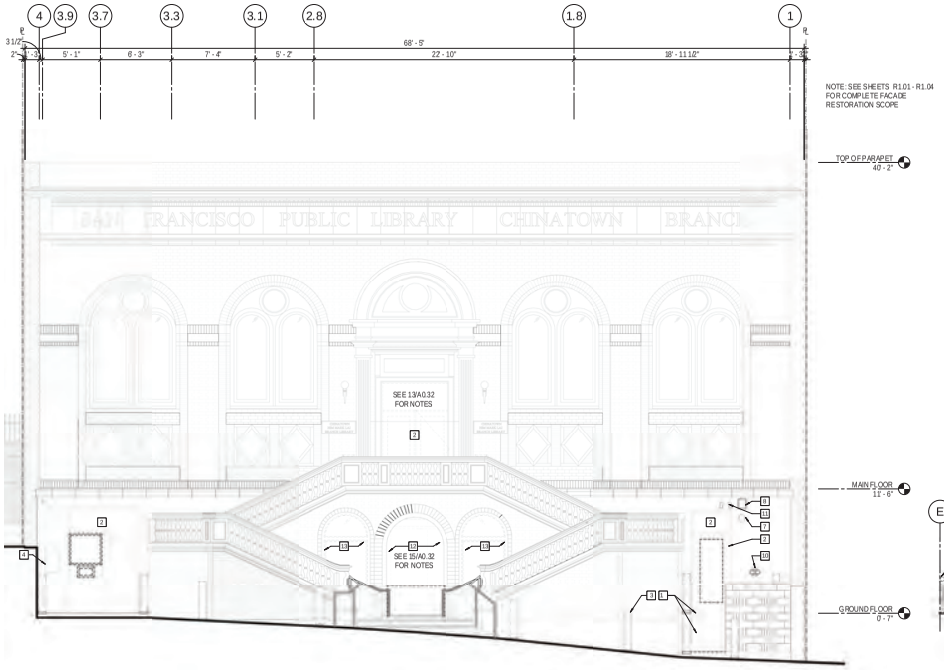


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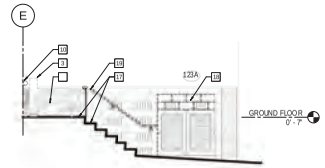


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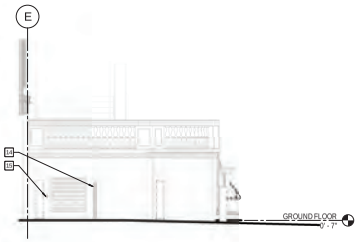


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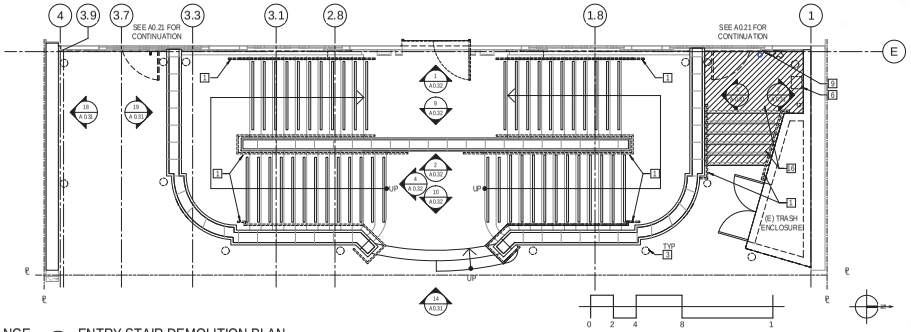


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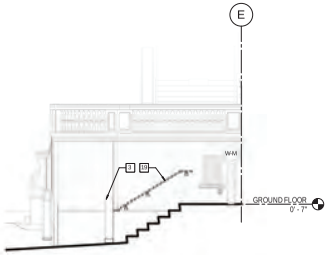


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3. REMOVE (E) BOLLARD LIGHTS, FOUNDATION, WIRING CONDUIT
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## LEGEND

HALF-TONE LINES INDICATE EXISTING CONSTRUCTION TO REMAIN

DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE DEMOLISHED

EXISTING BRICK MASONRY

Original Sheet Size: 30" x 42"


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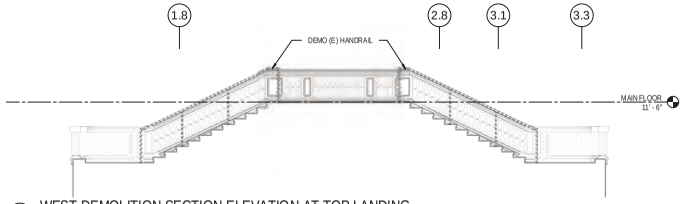
EAST DEMOLITION BUILDING ELEVATION ENTRY STAIR DEMOLITION PLAN

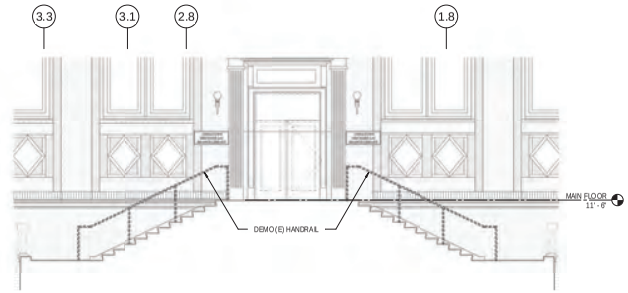
Sheet No. A 0.31

Scale As indicated

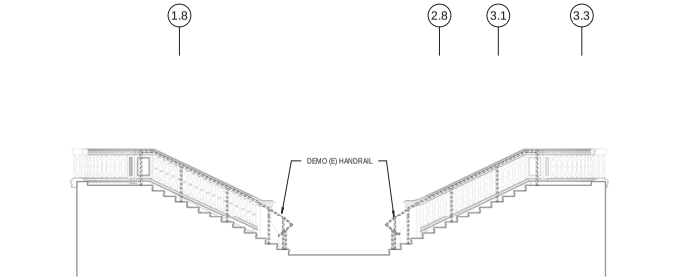

C:\Users\jaqua\Documents\SFA_CHTRL_REMO_ARCH_R23_jaqua.wang@sfcityarts.org
Tuesday, January 23, 2024



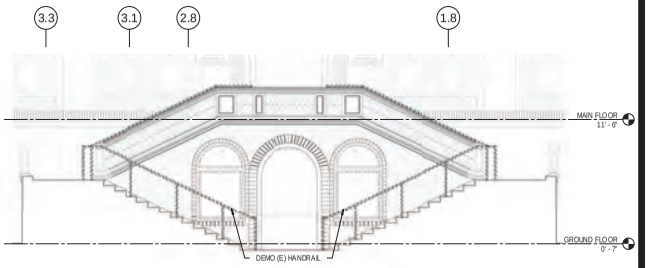

9 WEST DEMOLITION SECTION ELEVATION AT TOP LANDING
1/4" = 1'-0"



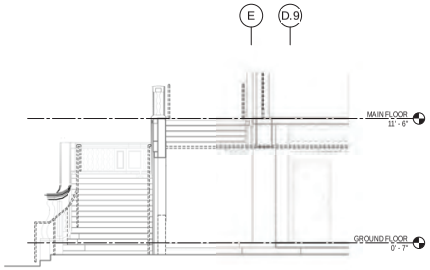

1 EAST DEMOLITION SECTION ELEVATION AT TOP LANDING
1/4" = 1'-0"




10 WEST SECTION ELEVATION AT BOTTOM LANDING
1/4" = 1'-0"




2 EAST DEMOLITION SECTION ELEVATION AT BOTTOM LANDING
1/4" = 1'-0"




3 NORTH DEMOLITION SECTION
1/4" = 1'-0"

## SHEET NOTES

1. THE BUILDING IS LANDMARKED HISTORIC PROPERTY AND THE LANDMARK DESIGNATION EXTENDS THROUGH THE INTERIOR OF THE BUILDING. EXISTING CONSTRUCTION THAT WAS ORIGINAL TO THE BUILDING IS CONSIDERED HISTORIC FABRIC. ALL DEMOLITION SHOULD BE PER THESE DRAWINGS AND CAREFULLY COORDINATED WITH THE ARCHITECT.
2. DEMOLITION SHALL BE DONE WITH CARE TO PROTECT EXISTING WORK TO REMAIN.
3. ALL WINDOWS AND DOORS ON THIS ELEVATION ARE LANDMARKED AND ALL FINISHES IN THIS AREA ARE TO BE CAREFULLY PROTECTED UNLESS SPECIFICALLY NOTED IN THESE DRAWINGS. EXTENT OF DEMOLITION BOTH ENTRANCES, BOOK DISPLAY, AND COMMUNITY ROOM, WHERE INDICATED, IS TO BE CAREFULLY EXECUTED TO MINIMIZE EXTENT OF DEMOLITION.
4. WHERE EXTERIOR TERRA COTTA WALL TILES REQUIRE REMOVAL, EACH TILE IS TO BE CAREFULLY REMOVED AND SALVAGED FOR REUSE OR STORAGE FOR LATER REUSE BY OWNER. TILES SHOULD BE REMOVED WITH PRECISION SO AS NOT TO DAMAGE ADJACENT TILE. TILES SHOULD BE SALVAGED AS COMPLETE UNITS AND CUT ONLY IF SPECIFICALLY INDICATED.
5. ALL DOORS, DOOR HARDWARE, FRAMES, AND THRESHOLDS ARE TO BE REMOVED. SALVAGE OF DOORS AND HARDWARE TO BE AT DISCRETION OF OWNER.
6. SALVAGE ITEMS NOT SLATED FOR REINSTALLATION ARE TO BE DELIVERED TO THE OWNER FOR RE-USE ELSEWHERE OR DISPOSED OF AT THE DISCRETION OF THE OWNER. ARCHITECT, CONTRACTOR TO COORDINATE EXTENT OF SALVAGED FIXTURES AND EQUIPMENT WITH THE ARCHITECT.
7. FOR MECHANICAL, ELECTRICAL, TELECOM, PLUMBING PENETRATIONS SEE M.E.P.T. DRAWINGS. NOT ALL PENETRATIONS ARE SHOWN. CONTRACTOR TO COORDINATE SIGNIFICANT PENETRATIONS WITH ARCHITECT.
8. DO NOT COMMENCE DEMOLITION UNTIL REQUIRED BARRICADES AND BARRIERS ARE IN PLACE. PROVIDE CONSTRUCTION BARRICADES FOR WORK IN OR ADJACENT TO PUBLIC SPACES OR OCCUPIED SPACES.
9. PROVIDE DEMOLITION PERMITS WHERE REQUIRED.
10. PROVIDE PRE-DEMOLITION SURVEYS WHERE REQUIRED IN SPECIFICATIONS.
11. VERIFY (E) CONDITIONS AS REQUIRED BY SPECIFICATIONS OR DRAWINGS.
12. REVIEW ITEMS NOT INDICATED ON DWG BUT WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF THE WORK WITH THE CITY REPRESENTATIVE. REMOVE OR RETAIN ITEMS AS DIRECTED BY CITY REPRESENTATIVE.
13. REVIEW DWG AND SPECS FOR SPECIAL PROCEDURES FOR THE REMOVAL AND SALVAGE OF ITEMS INDICATED ON DWG OR IN SPECS.
14. REFER TO STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DOCUMENTS FOR ADDITIONAL DEMOLITION WORK. COORDINATE FULL EXTENT OF DEMOLITION WORK.
15. REPAIR AND REFINISH OR REPLACE MATERIALS, EQUIPMENT, FIXTURES AND FINISHES DAMAGED DUE TO DEMOLITION WORK IN ACCORDANCE WITH THE SPECIFICATIONS.
16. REMOVE (E) WALLS INDICATED AS DASHED IN THEIR ENTIRELY INCLUDING ALL FINISHES, FRAMING, INSULATION, AND MEP EQUIPMENT, UNLESS OTHERWISE NOTED.
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20. CONTRACTOR TO COMPLY WITH SFBBC SECTION 328 - ASBESTOS INFORMATION AND NOTICE.
21. CONTRACTOR TO COMPLY WITH CONSTRUCTION AND DEMOLITION DEBRIS RECOVERY PROGRAM - SFBC CHAPTER 13B.

## KEY NOTES

## LEGEND

HALF-TONE LINES INDICATE EXISTING CONSTRUCTION TO REMAIN

DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE DEMOLISHED

EXISTING BRICK MASONRY

Original Sheet Size: 30" x 42"


BUREAU OF ARCHITECTURE

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Consultant

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ENTRY STAIR DEMOLITION SECTION ELEVATIONS

Sheet No.

A 0.32

Scale: As indicated


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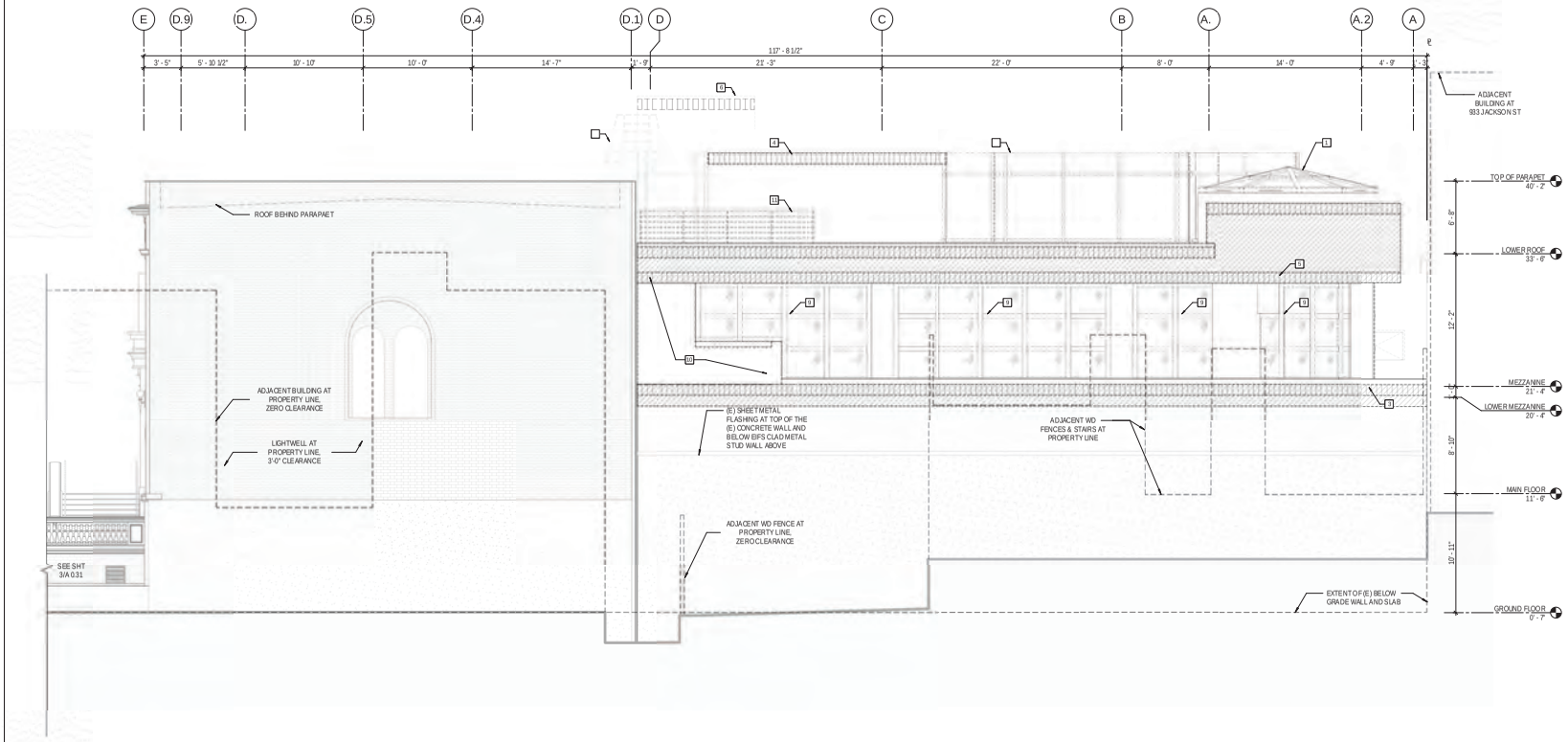
Plot Date: 12/18/2023




1 NORTH DEMOLITION BUILDING ELEVATION
1/4" = 1'-0"

## SHEET NOTES

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## KEY NOTES

1 REMOVE (E) SKYLIGHT
2 REMOVE (E) GLAZING WALL SYSTEM
3 REMOVE (E) COPING, BLOCKING, AND EIFS WALL SYSTEM FOR NEW PARAPET INSTALLATION
4 REMOVE (E) STAIR TOWER, DOOR, AND CURBS
5 REMOVE ALL (E) BRICK VENEER
6 REMOVE (E) ELEVATOR SHAFT WALLS
7 REMOVE (E) LADDER
8 REMOVE (E) FENCE AND FOOTINGS
9 REMOVE (E) GLAZING & MULLIONS
10 REMOVE (E) WALL & STRUCTURE BEHIND, SSD
11 REMOVE (E) RAILING

## LEGEND

HALF-TONE LINES INDICATE EXISTING CONSTRUCTION TO REMAIN
DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE DEMOLISHED
EXISTING BRICK MASONRY
REMOVE (E) EIFS & ADHESIVE TO PREP FOR (N) EIFS SYSTEM
EXISTING BRICK TILE TO BE REMOVED
SCRAPE (E) PAINT OFF (E) CONC

Original Sheet Size: 30" x 42"


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Drawing Title

NORTH DEMOLITION BUILDING ELEVATION

Sheet No. A 0.33

Scale 1/4" = 1'-0"


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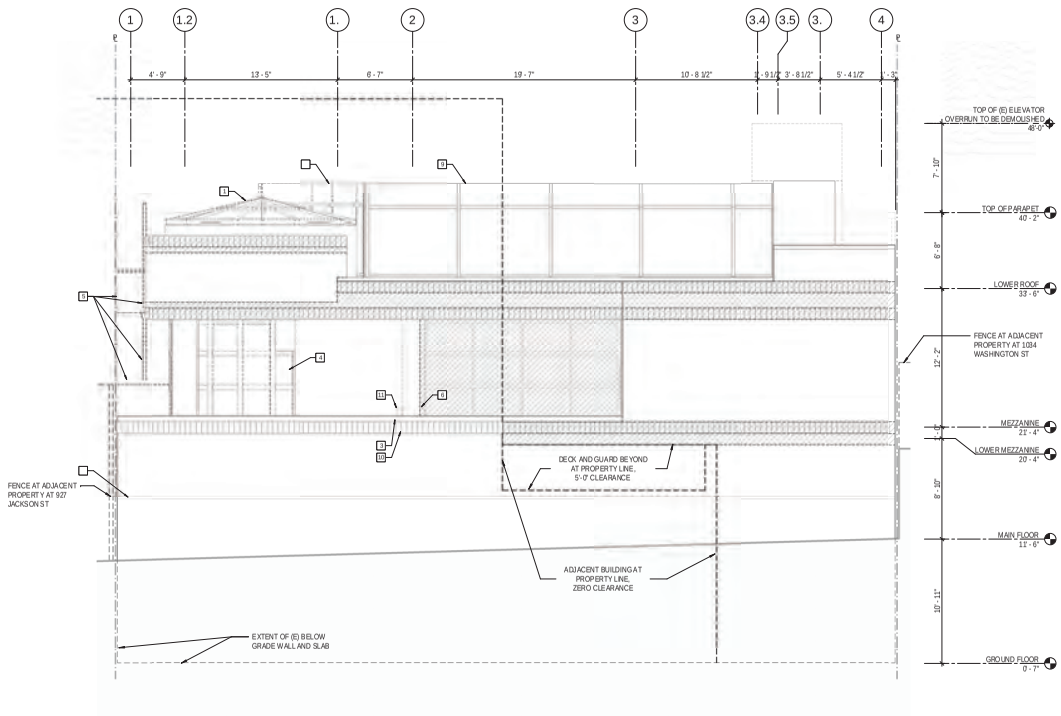


1 WEST DEMOLITION BUILDING ELEVATION
1/4" = 1'-0"

1. ALL EXTERIOR ELEMENTS TO REMAIN, UON
2. PROTECT EXISTING ELEMENTS FROM DAMAGE DURING DEMOLITION
3. PROTECT ADJACENT PROPERTIES DURING DEMOLITION AT ALL TIMES

## SHEET NOTES

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## KEY NOTES

1. REMOVE (E) SKYLIGHT
2. REMOVE (E) GLAZING WALL SYSTEM
3. REMOVE (E) COPING, BLOCKING, AND EIFS WALL SYSTEM FOR NEW PARAPET INSTALLATION
4. REMOVE (E) GLAZING WALL SYSTEM
5. REMOVE (E) SHAFT WALL AND RAINWATER LEADERS
6. PROTECT (E) HOSE BIB TO REMAIN
7. PROTECT (E) SHEET METAL FLASHING AT TOP OF (E) CONC WALL TO REMAIN
8. REMOVE (E) FENCING
9. (E) FENCING TO REMAIN
10. REMOVE ALL (E) BRICK TILE, TYP
11. (E) VALVES TO REMAIN

## LEGEND

- HALF-TONE LINES INDICATE EXISTING CONSTRUCTION TO REMAIN
- DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING BRICK MASONRY
- REMOVE (E) EIFS & ADHESIVE TO PREP FOR (N) EIFS SYSTEM
- EXISTING BRICK TILE TO BE REMOVED
- SCRAPE (E) PAINT OFF (E) CONC

Original Sheet Size: 30" x 42"


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Drawing Title

WEST DEMOLITION BUILDING ELEVATION

Sheet No.

A 0.34

Scale 1/4" = 1'-0"


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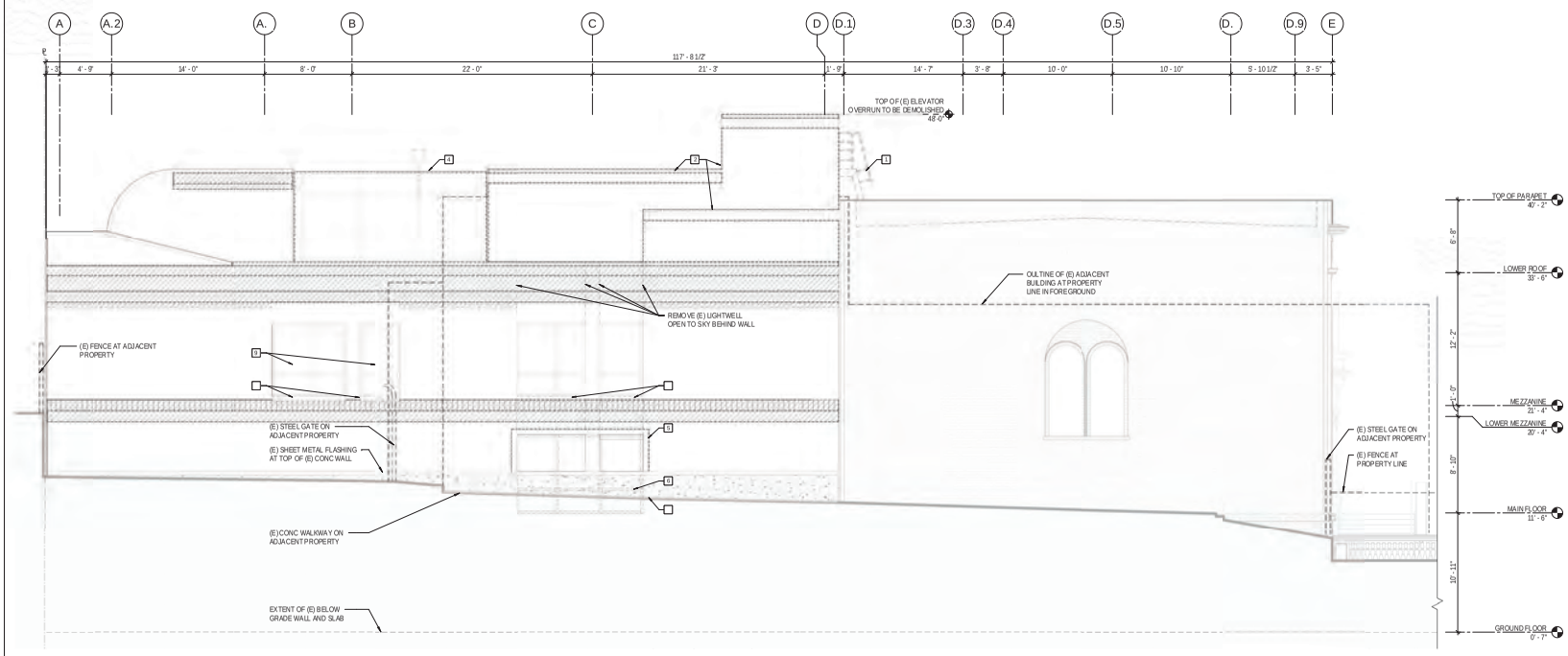


1 SOUTH DEMOLITION BUILDING ELEVATION
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## KEY NOTES

1 REMOVE (E) LADDER
2 REMOVE (E) MECHANICAL & ELEVATOR ROOM, EQUIPMENT CURBS, PLUMBING, AND CONDUIT
4 REMOVE (E) MECH SCREEN
5 REMOVE (E) EIFS AS REQUIRED TO TIE INTO (N) EFIS AS SHOWN IN (N) WORK
6 REMOVE (E) WINDOW, EXTENT OF WINDOW BEHIND (E) CONC WALL SHOWN DASHED
7 REMOVE (E) SHEET METAL FLASHING AT (E) OPENING
8 REMOVE (E) TERMINATION BAR AND FASTENERS
9 REMOVE (E) GLAZING AND FRAME

## LEGEND

HALF-TONE LINES INDICATE EXISTING CONSTRUCTION TO REMAIN
DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE DEMOLISHED
EXISTING BRICK MASONRY
REMOVE (E) EIFS & ADHESIVE TO PREP FOR (N) EIFS SYSTEM
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Drawing Title

SOUTH DEMOLITION BUILDING ELEVATION

Sheet No. A 0.35

Scale 1/4" = 1'-0"


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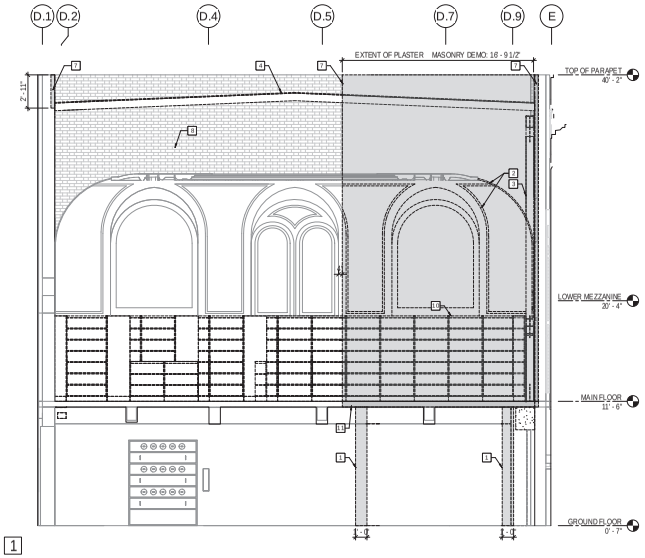
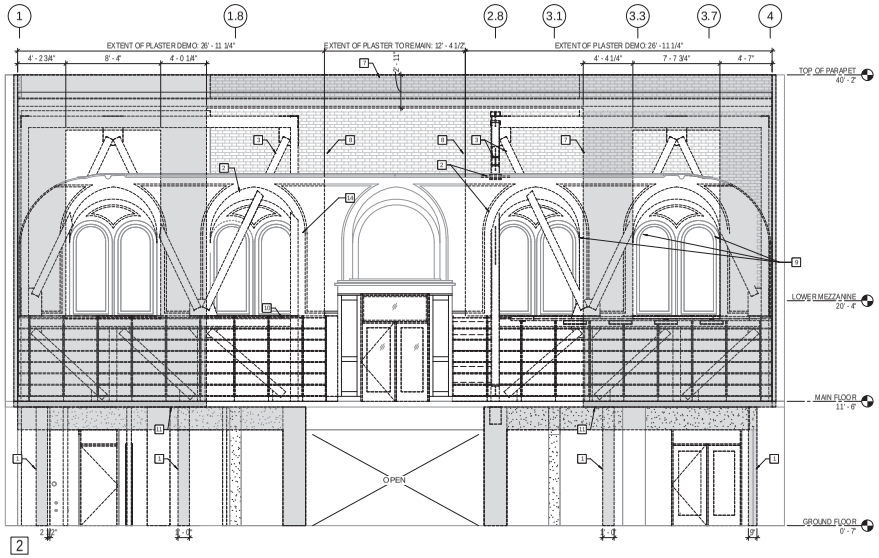
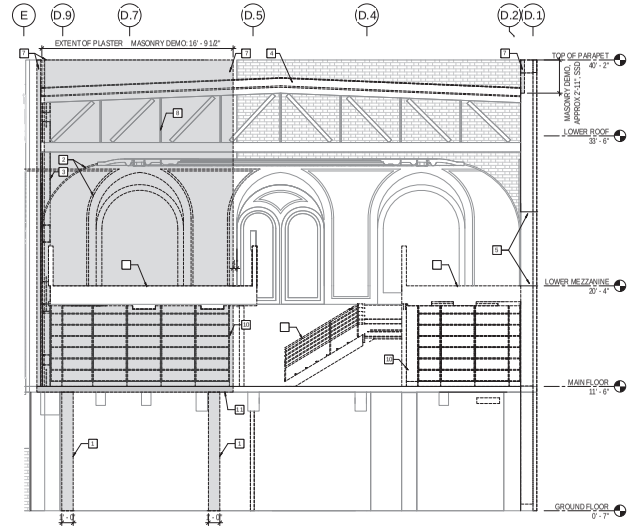


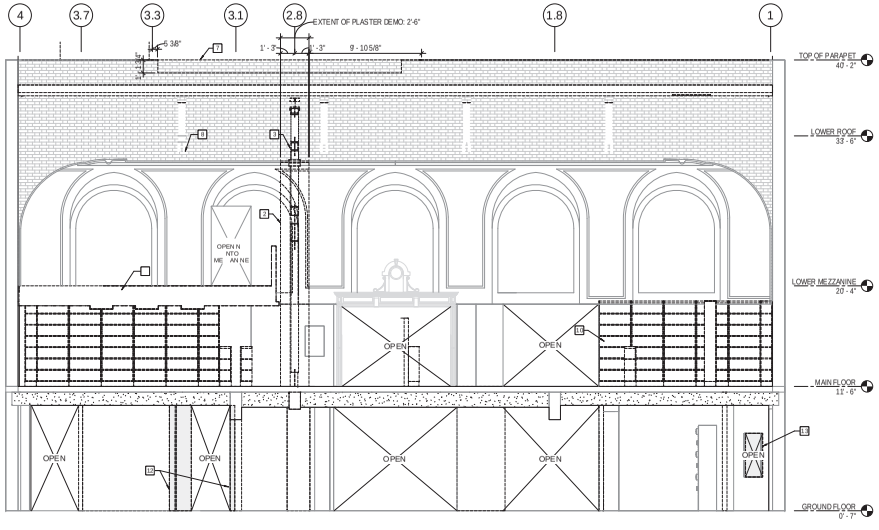

1
INTERIOR DEMOLITION ELEVATION - NORTH
1/4" = 1'-0"




2
INTERIOR DEMOLITION ELEVATION - EAST
1/4" = 1'-0"




3
INTERIOR DEMOLITION ELEVATION - SOUTH
1/4" = 1'-0"




4
INTERIOR DEMOLITION ELEVATION - WEST
1/4" = 1'-0"

## SHEET NOTES

1. NOTE TO PLANNER - QUANTITY OF DEMOLITION AND REMOVAL OF EXISTING PLASTER CEILING IN MAIN READING ROOM 201 IS APPROXIMATELY 45% OF TOTAL WALL AREA IN THAT ROOM.
2. REFER TO SHEET NOTES ON A0.22

## KEY NOTES

1. REMOVE (E) CONC AS REQUIRED FOR (N) RECESSED HSS COLUMN AT EXTERIOR WALL, SHOWN GREY, SSD
2. CAREFULLY REMOVE PLASTER AT WALL AND CEILING AS INDICATED PRIOR TO STRUCTURAL WORK, SSD
3. CAREFULLY REMOVE STRUCTURAL STEEL FOOTINGS AND BRACES AT FLOOR AND WALL, SSD
4. REMOVE (E) WD ROOF RAFTERS, PLYWD DECKING, ROOF MEMBRANE. (E) WD TRUSS TO REMAIN. PROVIDE TEMPORARY SHOWING AS REQ'D. SSD.
5. REMOVE (E) FRAMING FINISHES AT (E) PORTAL TO BUILDING ADDITION AT MEZZANINE
6. REMOVE (E) MEZZANINE FLOOR, DECK, COLUMNS, WALLS, BEAMS, STAIRS AND LIGHTING, SEE SHEET NOTE 18 ON A0.22
7. EXTENT OF REMOVAL OF INTERIOR WYTHE OF BRICK WALL, SHOWN GREY, SSD
8. (E) TRUSSES TO REMAIN, TYP
9. REMOVE WINDOW TRIM WHERE REQUIRED FOR STRUCTURAL WORK, REPAIR AND PREPARE FOR REINSTALLATION, SEE AS.13
10. REMOVE (E) PERIMETER BOOKSHELVES, TYP
11. REMOVE (E) CONC FLOOR STRIP AD ACENT TO EXTERIOR WALL, SHOWN GREY, SSD
12. REMOVE (E) CONC/SHOTCRETE ASSEMBLY AS REQUIRED FOR (N) CONC PORTAL, SSD
13. (N) OPENING IN (E) CONC/SHOTCRETE ASSEMBLY
14. REMOVE (E) RAINWATER LEADER, SPD

## LEGEND

- (E) TO REMAIN
- (E) EXPOSED MASONRY
- EXTENT OF MASONRY OR CONCRETE DEMOLITION, SEE KEY NOTES SSD
- DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE DEMOLISHED

Original Sheet Size: 30" x 42"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Drawing Title

INTERIOR DEMOLITION ELEVATIONS

Sheet No.
A 0.51
Scale 1/4" = 1'-0"


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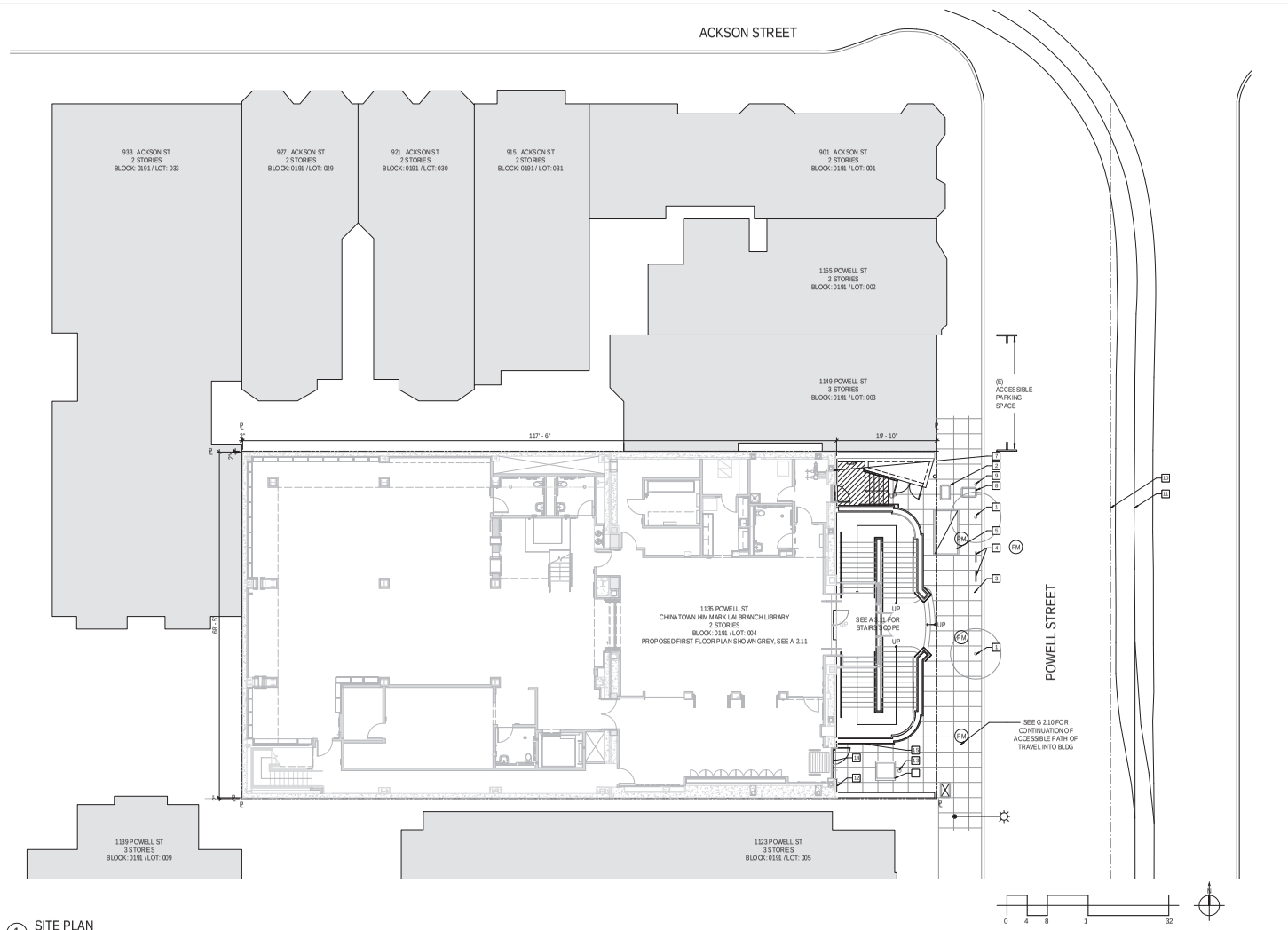


1 SITE PLAN
1/8" = 1'-0"

## SHEET NOTES

1. SEE G2.1P FOR ACCESSIBLE CLEARANCES. SEE G3 DRAWINGS FOR ACCESSIBLE DETAILS.

## KEY NOTES

1 PROTECT (E) STREET TREE TO REMAIN, SCD
2 (E) TV UTILITY TO REMAIN, REPLACE (E) UTILITY BOX WITH (N) IN-KIND SET FLUSH TO (N) SIDEWALK, SEE TELECOM DWG
3 (N) SIDEWALK AT (E) CURB AND GUTTER, PROPERTY LINE TO PROPOERTY LINE, SCD
4 (N) BICYCLE RACKS WITH FOUR BICYCLE CAPACITY
5 PROTECT (E) PG E OWNED SIDEWALK TRANSFORMER TO REMAIN, SED
6 PROTECT (E) FOUNDATION SAND INTERCEPTOR, SPD
6 PROTECT (E) SAND INTERCEPTOR, SPD
7 (E) SF FIRE DEPT CONNECTION, SEE G 2.1D, SEE FIRE PROTECTION DWG
8 (E) WATER METER TO REMAIN, REPLACE (E) UTILITY BOX (N) IN-KIND SET FLUSH TO (N) SIDEWALK, SPD
9 (E) GAS VALVE, PROTECT, CAP, REPLACE (E) UTILITY BOX WITH (N) IN-KIND SET FLUSH TO (N) SIDEWALK, SPD
10 CENTER LINE POWELL STREET PUBLIC RIGHT OF WAY
11 (E) CABLE CAR TRACKS TO REMAIN
12 (N) SFFD LOCK BOX
13 (E) FOUNDATION DRAIN SUMP CLEAN OUT TO REMAIN
14 (N) ADDRESS SIGNAGE TO BE APPLIED TO TRANSOM GLAZING ABOVE DOOR, SEE A9.40
15 (N) POWER DOOR OPERATOR

## LEGEND

Original Sheet Size: 30" x 42"


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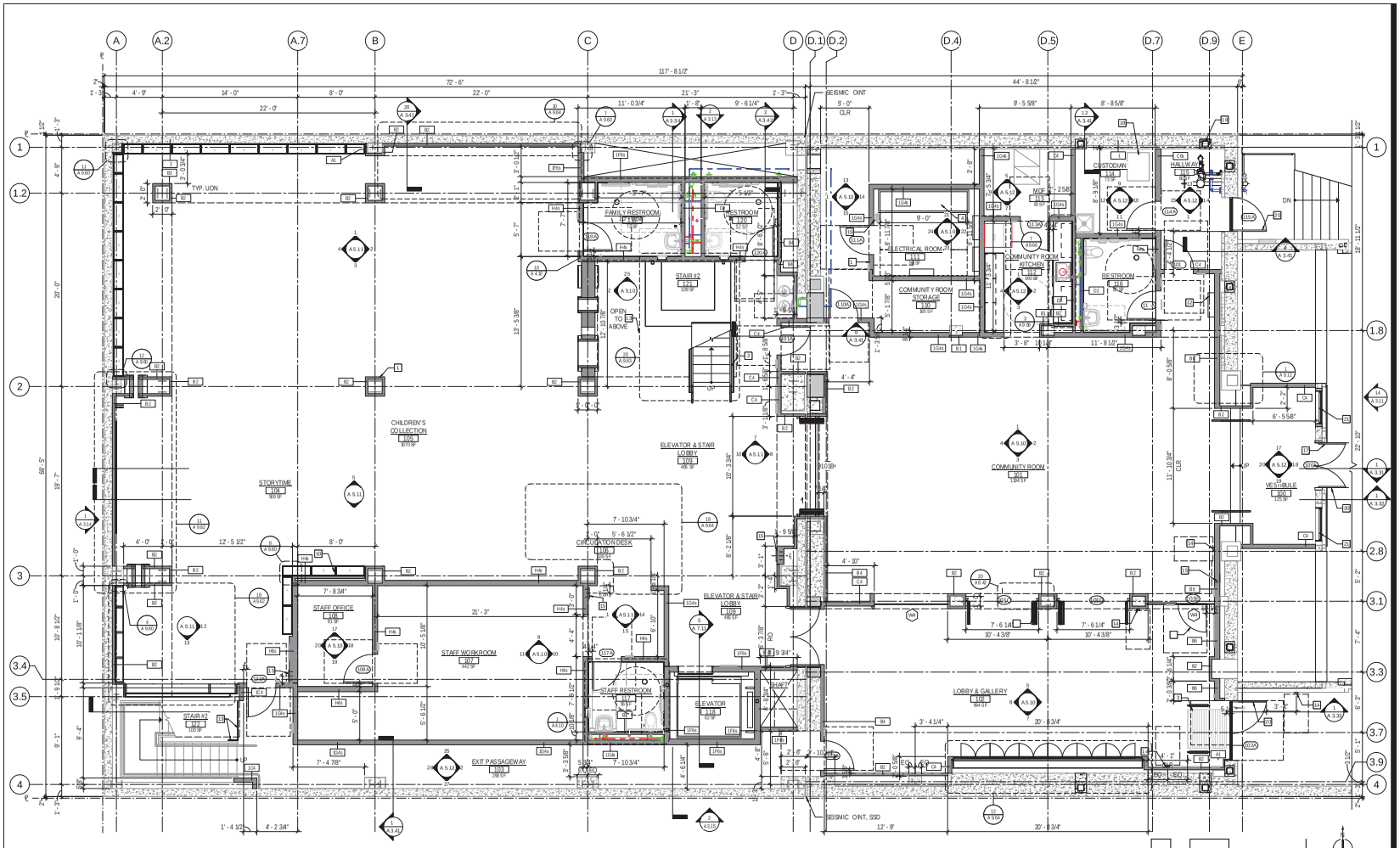
SITE PLAN

Sheet No. A 1.11

Scale 1/8" = 1'-0"




1 GROUND FLOOR PLAN
3/4" = 1'-0"

## SHEET NOTES

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS PRIOR TO CONSTRUCTION
2. PROVIDE FIRE EXTINGUISHERS WITH MIN RATING OF 4-A:60BC AT EACH MECHANICAL, ELECTRICAL OR BOILER ROOM PROVIDE SURFACE MOUNTED FIRE EXTINGUISHER UNLESS NOTED OTHERWISE
3. PROVIDE FIRE EXTINGUISHERS WITH MIN RATING OF 2-A:10BC WITHIN 75 FEET OF TRAVEL DISTANCE FOR EVERY 6,000 SF PER CCR TITLE 19, DIV 1, CHAPTER 3, ARTICLE 5. PROVIDE RECESS MOUNTED FIRE EXTINGUISHER CABINETS AS SPECIFIED UNLESS NOTED OTHERWISE
4. SEE A9.11 FOR PARTITION TYPES
5. SEE A9.41 FOR DOOR SCHEDULE
6. SEE A10.11 FOR INTERIOR FINISH SCHEDULE AND FINISH PLANS FOR DESIGNATION
7. SEE G2 DRAWINGS FOR EGRESS DRAWINFS FOR LOCATIONS AND HOURLY RATING OF FIRE RATED ASSEMBLIES.

## KEY NOTES

1 (N) FURRING AT ALL COLUMNS, UON
2 (N) STAIR
3 (N) 4'-0' x 4'-0' RECESSED WALK OFF MAT
3 (N) RECESSED WALK OFF MAT
4 (N) MAIN SWITCHBOARD ELEC PANEL, SED
5 (N) 1HR RATED HOLLOW METAL DOUBLE DOORS
6 (N) ALUM FRAMED GLASS DOORS.
7 (N) ALUM FRAMED GLAZING, TYP
8 (N) SLIDING GLASS DOORS W/ FRAMED GLAZING
9 (N) ALUM FRAMED GLAZING OR PARTITION WALL
10 (N) CASEWORK
11 (N) BUILT CASE WORK WITH GLASS DISPLAY CABINETS
12 (N) ADDRESSABLE FIRE ALARM SYSTEM. ALL FIRE ALARM DEVICES AND APPLIANCES PLACED PER NFPA 72. ALARM SYSTEM WILL BE LINKED TO THE SPRINKLER FLOW SWITCHES, TAMPER SWITCHES, AND VALVE MONITORS SEE TELECOM DRAWINGS. THE FIRE ALARM SYSTEM MONITORING SIGNAL SHALL BE CONNECTED AS REQUIRED BY SFFD AND SFPUC
13 (N) CANE RAIL
14 (N) POWER DOOR OPERATOR
15 (N) FIRE EXTINGUISHER CABINET, SEE 16/A 9.11
16 (N) FIRE EXTINGUISHER, BRACKET MOUNTED
17 (N) ENTRY DOOR IN (E) OPENING
18 CARTS FOR RECYCLING STORAGE. OWNER PROVIDED. OWNER INSTALLED.
19 GROUT FLUSH INFILL ARROUND HSS COLUMN PER S/S8.1, TYP OF 8
20 (N) DOOR, FRAME TRANSOM IN (E) OPENING, SEE A 9.40 FOR DOOR SCHEDULE
20 (N) DOOR, FRAME, TRANSOM, SIDELITE, AND BOOK DROP, WHERE APPLICABLE, SEE A 9.40 FOR DOOR SCHEDULE

## LEGEND

NEW PARTITION WALLS
EXISTING PARTITION WALLS
EXISTING CONCRETE WALLS
EXISTING MASONRY WALLS

Original Sheet Size: 30" x 42"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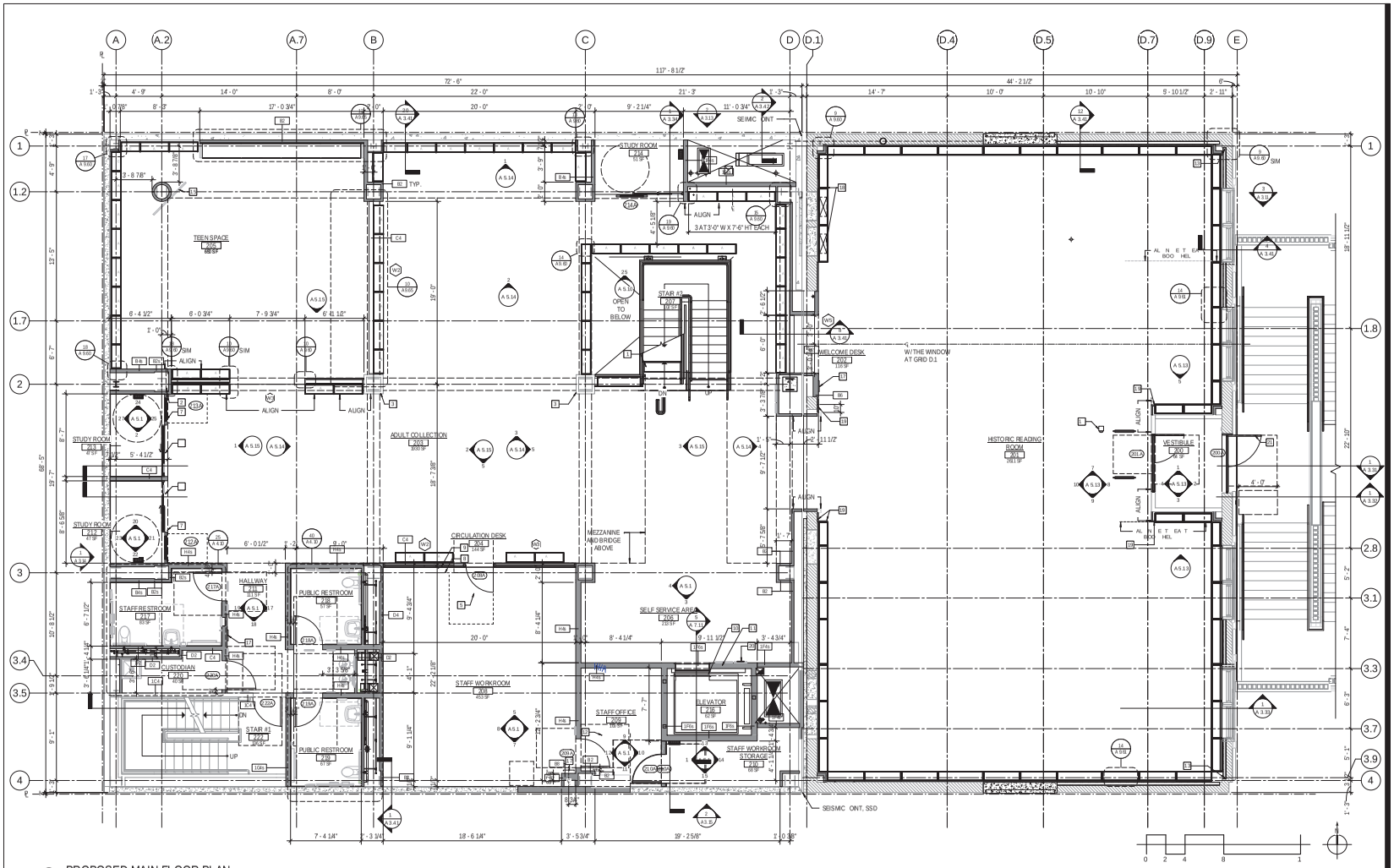
GROUND FLOOR PLAN

Sheet No.

A 2.11

Scale As indicated




1 PROPOSED MAIN FLOOR PLAN
1/4" = 1'-0"

## SHEET NOTES

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS PRIOR TO CONSTRUCTION
2. PROVIDE FIRE EXTINGUISHERS WITH MIN RATING OF 4-A:60BC AT EACH MECHANICAL, ELECTRICAL OR BOILER ROOM
   PROVIDE SURFACE MOUNTED FIRE EXTINGUISHER UNLESS NOTED OTHERWISE
3. PROVIDE FIRE EXTINGUISHERS WITH MIN RATING OF 2-A:10BC WITHIN 75 FEET OF TRAVEL DISTANCE FOR EVERY 6,000 SF PER CCR TITLE 19, DIV 1, CHAPTER 3, ARTICLE 5. PROVIDE RECESS MOUNTED FIRE EXTINGUISHER CABINETS AS SPECIFIED UNLESS NOTED OTHERWISE
4. SEE A9.11 FOR PARTITION TYPES
5. SEE A9.41 FOR DOOR SCHEDULE
6. SEE A10.11 FOR INTERIOR FINISH SCHEDULE AND FINISH PLANS FOR DESIGNATION
7. SEE A9.61 FOR CASEWORK DETAILS AND DIMENSION IDENTIFICATION

## KEY NOTES

1 (N) STAIR
2 (N) FURRING AT COLUMN, TYP UON
3 PROTECT (E) ARTWORK AT COLUMN, (E) FURRING AT COLUMN TO REMAIN
4 (N) 1HR RATED PARTITION AT STAIR
5 (N) ALUM FRAMED GLASS DOOR
6 (N) ALUM FRAMED GLAZING
7 (N) SLIDING GLASS DOORS W/ FRAMED GLAZING
8 (N) ALUM FRAMED GLAZING O.P.ARTITION WALL
9 (N) CASEWORK
10 (N) MACHINE ROOMLESS (MRL) 3500LB CAPACITY ELEVATOR
11 1HR RATED ELEVATOR SHAFT PARTITION WALL
12 (E) ROOF AT MAIN FLOOR TO BE CONVERTED TO FLOOR
13 SSD FOR SHEAR WALL CONSTRUCTION
14 (N) ALUM FRAMED SLIDING GLASS DOOR
15 (N) DIGITAL DISPLAY
16 (N) FIRE EXTINGUISHER CABINET, SEE X/X.XX
16 (N) POWER DOOR OPERATOR
17 (N) FIRE EXTINGUISHER CABINET, SEE X/X.XX
18 MECHANICAL EXHAUST BELOW CASEWORK SIMD
19 W/D PARTITION-MOULDING AT BOOKSHELF TO ALIGN W/ EXISTING W/D MOULDING AT ENTRY
20 TWO-WAY COMMUNICATION SYSTEM CBC 1009.8, SED
21 (N) DOOR, FRAME, TRANSOM, SIDELITE, AND BOOK DROP, WHERE APPLICABLE, IN (E) OPENING, SEE A 9.40 FOR DOOR SCHEDULE

## LEGEND

NEW PARTITION WALLS
EXISTING PARTITION WALLS
EXISTING CONCRETE WALLS
EXISTING MASONRY WALLS

Original Sheet Size: 30" x 42"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MAIN FLOOR PLAN

Sheet No.

A 2.12

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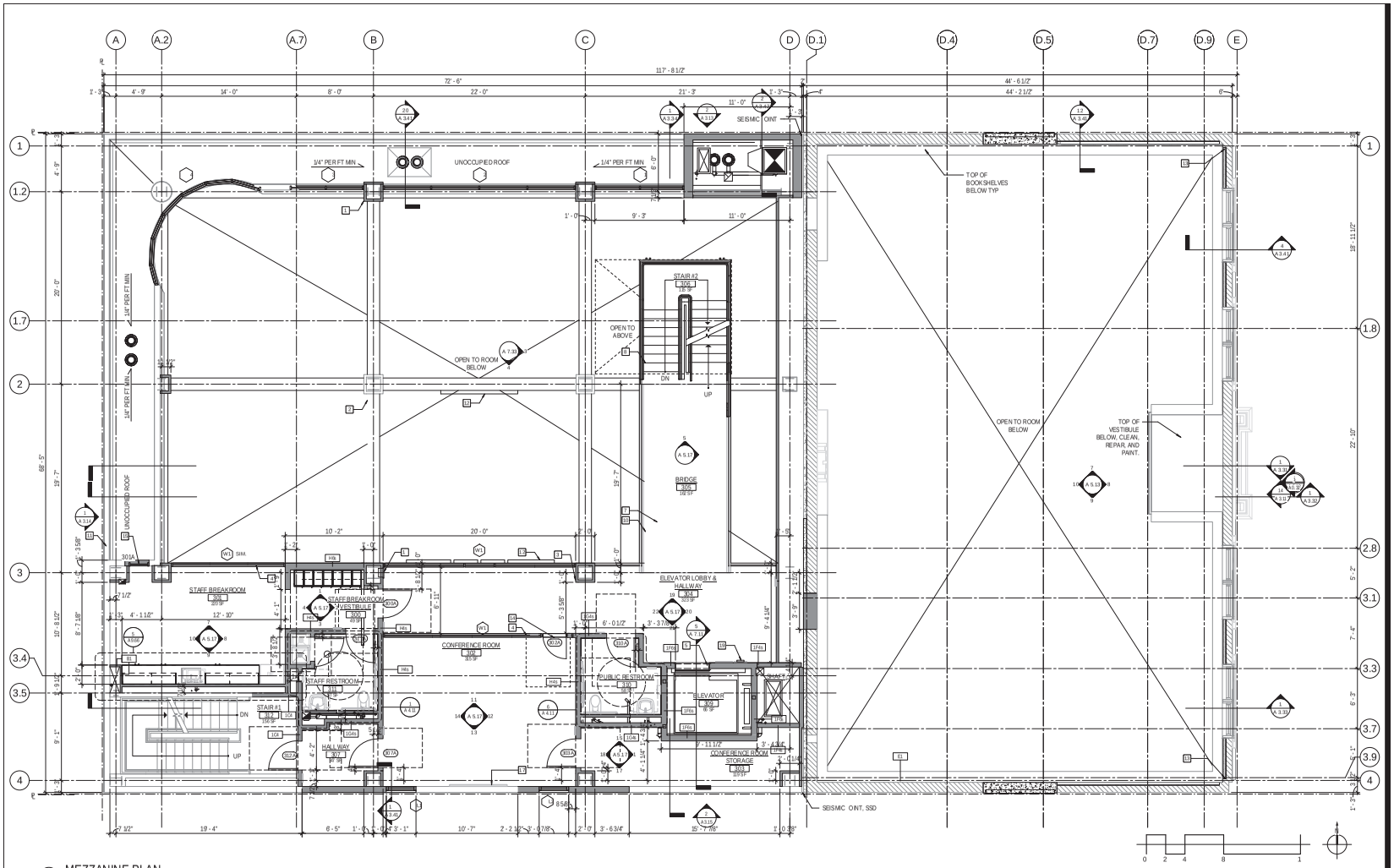
Chinatown Branch
Plot Date: 12/18/2023




1 MEZZANINE PLAN
1/4" = 1'-0"

## SHEET NOTES

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS PRIOR TO CONSTRUCTION
2. PROVIDE FIRE EXTINGUISHERS WITH MIN RATING OF 4-A:60BC AT EACH MECHANICAL, ELECTRICAL OR BOILER ROOM PROVIDE SURFACE MOUNTED FIRE EXTINGUISHER UNLESS NOTED OTHERWISE.
3. PROVIDE FIRE EXTINGUISHERS WITH MIN RATING OF 2-A:10BC WITHIN 75 FEET OF TRAVEL DISTANCE FOR EVERY 6,000 SF PER CCR TITLE 19, DIV 1, CHAPTER 3, ARTICLE 5. PROVIDE RECESS MOUNTED FIRE EXTINGUISHER CABINETS AS SPECIFIED UNLESS NOTED OTHERWISE
4. SEE A9.11 FOR PARTITION TYPES
5. SEE A9.41 FOR DOOR SCHEDULE
6. SEE A10.11 FOR INTERIOR FINISH SCHEDULE AND FINISH PLANS FOR DESIGNATION

## KEY NOTES

1 (N) FURRING AT COLUMN
2 (N) BEAM WRAP, TYP
3 (N) FURRING AT COLUMNS, TYP UON
4 (N) ALUM FRAMED GLAZING, TYP
5 (N) MACHINE ROOMLESS (MRL) 3500LB CAPACITY ELEVATOR
6 (N) 3HR RATED ELEVATOR SHAFT PARTITION WALL
7 (N) METAL DECK WALKWAY CONNECTING (N) SLAB TO (N) STAIR 1 LANDING
8 (N) STAIR
9 (N) KITCHENETTE WITH CABINETS BELOW AND ABOVE COUNTER
10 (N) GLASS RAIL
11 (N) GUARDAIL
12 REINSTALL (E) ARTWORK IN PLACE
13 SSD FOR SHEAR WALL CONSTRUCTION
14 (N) ALUM FRAMED GLASS DOOR
15 FIRE RATED ROOF ACCESS DOOR. SEE DOOR SCHEDULE.
17 AUDIO VISUAL EQUIPMENT, SEE AV DRAWINGS
19 TWO-WAY COMMUNICATION SYSTEM CBC 1009.8 SED

## LEGEND

NEW PARTITION WALLS
EXISTING PARTITION WALLS
EXISTING CONCRETE WALLS
EXISTING MASONRY WALLS

Original Sheet Size: 30" x 42"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MEZZANINE PLAN

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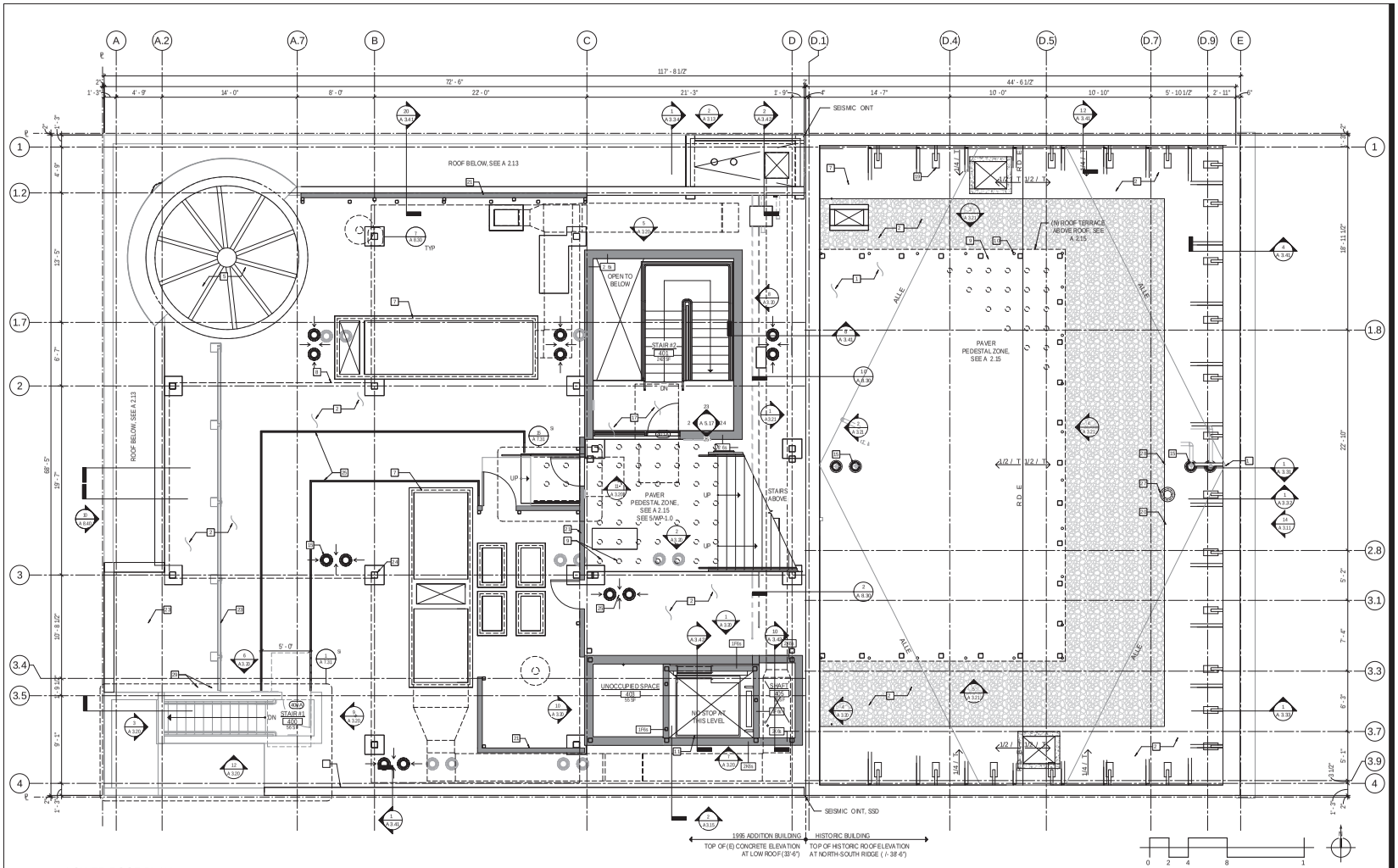


1 LOWER ROOF PLAN
1/4" = 1'-0"

## SHEET NOTES

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS PRIOR TO CONSTRUCTION
2. PROVIDE FIRE EXTINGUISHERS WITH MIN RATING OF 4-A:60BC AT EACH MECHANICAL, ELECTRICAL OR BOILER ROOM. PROVIDE SURFACE MOUNTED FIRE EXTINGUISHER UNLESS NOTED OTHERWISE
3. PROVIDE FIRE EXTINGUISHERS WITH MIN RATING OF 2-A:10BC WITHIN 75 FEET OF TRAVEL DISTANCE FOR EVERY 6,000 SF PER CCR TITLE 19, DIV 1, CHAPTER 3, ARTICLE 5. PROVIDE RECESS MOUNTED FIRE EXTINGUISHER CABINETS AS SPECIFIED UNLESS NOTED OTHERWISE
4. SEE A9.11 FOR PARTITION TYPES
5. SEE A9.41 FOR DOOR SCHEDULE
6. SEE A10.11 FOR INTERIOR FINISH SCHEDULE AND FINISH PLANS FOR DESIGNATION
7. SEE A2.19 FOR CEMENTITIOUS ROOF FILL AND DRAINAGE

## KEY NOTES

1 (N) ROOFING OVER (N) ROOF ASSEMBLY: COVERBOARD, TAPERED ROOF INSULATION METAL DECK TRUSSES
2 SEE 11WP-1.0, (N) ROOF MEMBRANE ON (E) CONC OVER METAL DECK
3 (N) PEDESTALS WITH PAVERS ABOVE AT ENTIRE ROOF DECK AREA, SEE A 2.15
4 (N) CONC CURB FOR STAIR ANCHORAGE
5 (N) SKYLIGHT, TO REPLACE (E), SEE 6/A8.30
6 (N) GSM CAP OVER (E) CONC CURB
7 (N) CURB, SEE 9WP-4.0, SIM
7 (N) MECHANICAL EQUIPMENT INCLUDING (N) PACKAGE ROOFTOP AIR HANDLING UNITS W/ ECONOMIZER CYCLE INTEGRAL DX HEAT PUMP TO SUPPLEMENT THE HEAT EXCHANGER, SIMD
8 (N) PHOTOVOLTAIC PANELS ABOVE, SEE A 2.15
9 (N) PEDESTALS WITH PAVERS ABOVE AT ENTIRE ROOF DECK AREA, SEE A 2.15
9 (N) PEDESTALS WITH PAVERS ABOVE, SEE A 2.15
10 (N) 3" DIAMETER POSTS 5'-0" TO SUPPORT CURB GLAZED RAIL ABOVE, TYP
11 (N) MACHINE ROOMLESS (MRL) 3500LB CAPACITY ELEVATOR
12 (N) 1HR RATED ELEVATOR SHAFT PARTITION WALL
13 (N) OVERHANG ABOVE
14 (N) PARAPET BRACING, SSD
15 (n) ROOF DRAIN, OVERFLOW, AND FLASHING INSTALLED IN (E) ROOF DRAINS SLAB OPENING, UON
15 REINSTALL (E) ROOF DRAIN OVERFLOW DRAIN, UON
16 INFILL (E) THROUGH-PARAPET SCUPPER SEAL WITH (N) ROOF MEMBRANE
17 (N) BUILT-UP LANDING OVER (E) SLAB
18 (N) 6" x 6" x 1'-1 3/4" CONC CURB FOR STAIR ANCHORAGE, TYP OF 4
19 (N) PARAPET SUPPORT BRACING, SSD
20 2" FLAT BAR POSTS AT 48" OC FOR FOR GUARD RAIL, SEE A 2.15 FOR HORIZONTALS
21 (N) ACOUSTIC FENCE
21 (N) FENCE
22 (E) BEAM BELOW
23 (N) EXTERIOR RATED CABINET ENCLOSURE FOR GRID-TIED PHOTOVOLTAIC STATIONARY BATTERY STORAGE SYSTEM, SED
23 CLEAN PAINT (E) FENCE TO REMAIN
24 (N) PHOTOVOLTAIC PANELS SUPPORT COLUMNS
25 (N) 42" GUARDRAIL WITH INTERMEDIATE HORIZONTAL RAIL, 21" SPHERE CANNOT PASS
25 REINSTALL (E) ROOF DRAIN OVERFLOW DRAIN IN (N) LOCATION AS SHOWN, SEE A 2.24 SIMD
26 SEE 9WP-1.0 ROOF BALLAST
27 (N) FALL PROTECTION TIE DOWN, SSD
28 4" DIAMETER POSTS AT 60" ON FOR GUARD RAIL, SEE A 2.15 FOR HORIZONTALS
29 (N) ELEC PANELS, SED

## LEGEND

NEW PARTITION WALLS

EXISTING PARTITION WALLS

Original Sheet Size: 30" x 42"


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LOWER ROOF PLAN

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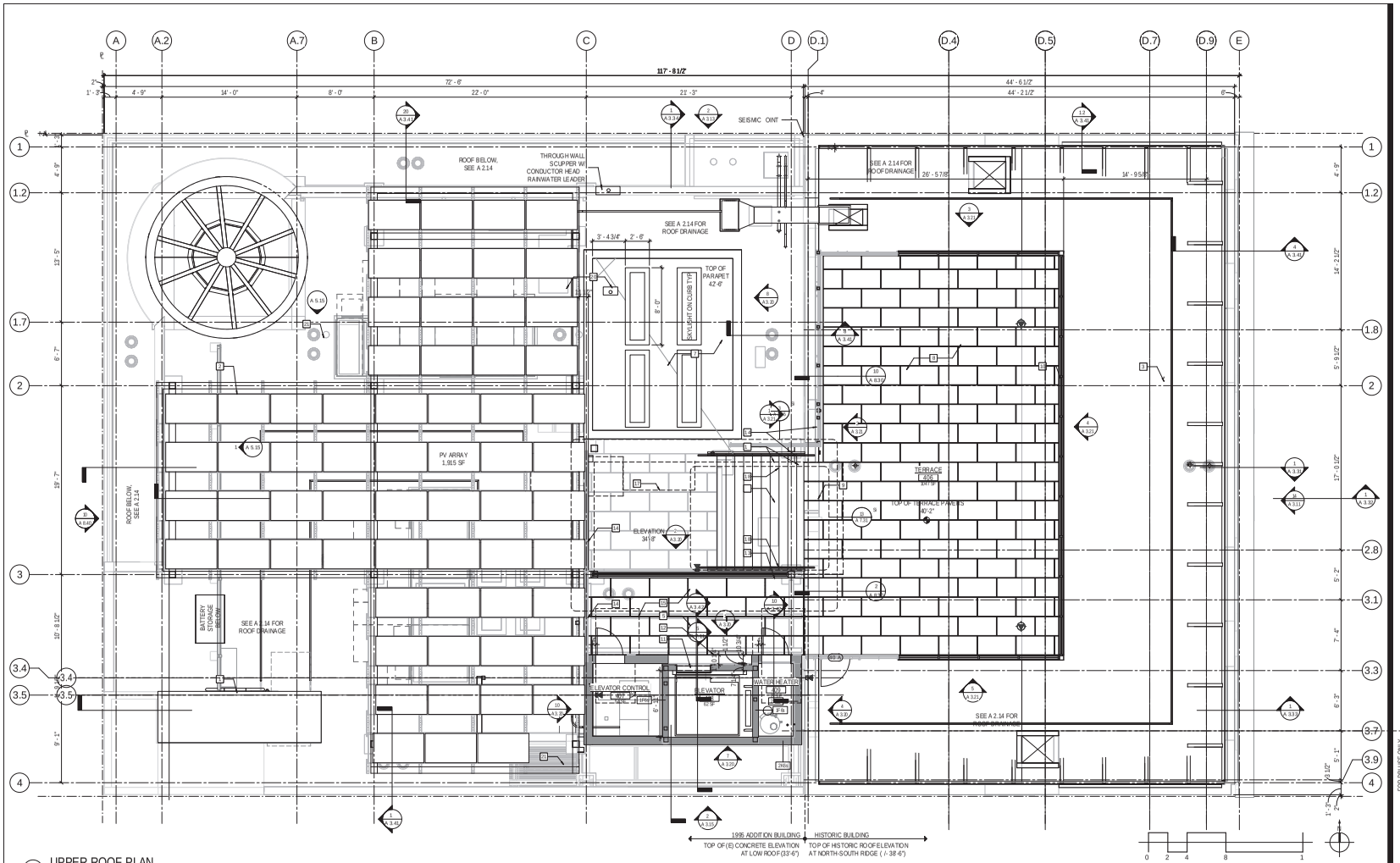
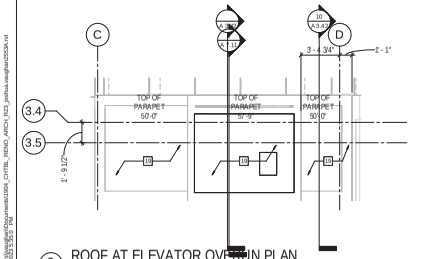
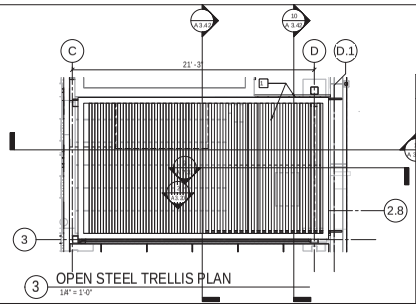



1 UPPER ROOF PLAN
1/4" = 1'-0"




2 ROOF AT ELEVATOR OVERRUN PLAN
1/4" = 1'-0"




3 OPEN STEEL TRELLIS PLAN
1/4" = 1'-0"

## KEY NOTES

1 (E) ROOF OVER (E) STAIR TO REMAIN
2 (N) PHOTOVOLTAIC PANELS ON (N) STEEL SUPPORT STRUCTURE ABOVE UNOCCUPIED ROOF MECHANICAL SYSTEM, APPROX 1900 SF
3 (N) 42" GUARD RAIL WITH INTERMEDIATE HORIZONTAL RAIL, 21" SPHERE CANNOT PASS
4 (N) GLASS GUARDRAIL, 7'-0" AFF
5 (N) OVERHANG ABOVE
6 (N) STAIR W/ PRECAST CONC TREAD RISERS
7 (N) ROOF ABOVE (N) STAIR 1 BELOW
8 (N) PEDESTAL PAVERS OVER (N) ROOFING
9 INTERIOR EDGE OF (E) MASONRY PARAPET EDGE BELOW ROOF TERRACE PAVERS PEDESTALS
10 (N) WINDSCREEN
11 (N) MACHINE ROOM LESS (MRL) 3500LB CAPACITY ELEVATOR
12 (N) 1HR RATED ELEVATOR SHAFT PARTITION WALL
13 (N) GLASS HANDRAIL
14 (N) FENCING
15 (N) PAVERS OVER (N) METAL DECK
15 (N) PAVERS OVER (N) METAL GRATE
16 (N) OPEN STEEL TRELLIS WITH NO COVERING ABOVE
17 (N) OVERHANG BELOW
18 (N) HANDRAIL
19 (N) ROOFING
20 THROUGH WALL SCUPPER WITH CONDUCTOR HEAD AND RAINWATER LEADER, SPD
21 REINSTALL (E) ROOF DRAIN OVERFLOW DRAIN, UON

## LEGEND

NEW PARTITION WALLS
EXISTING PARTITION WALLS

Original Sheet Size: 30" x 42"

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SAN FRANCISCO PUBLIC WORKS

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CHINATOWN BRANCH

1135 POWELL STREET
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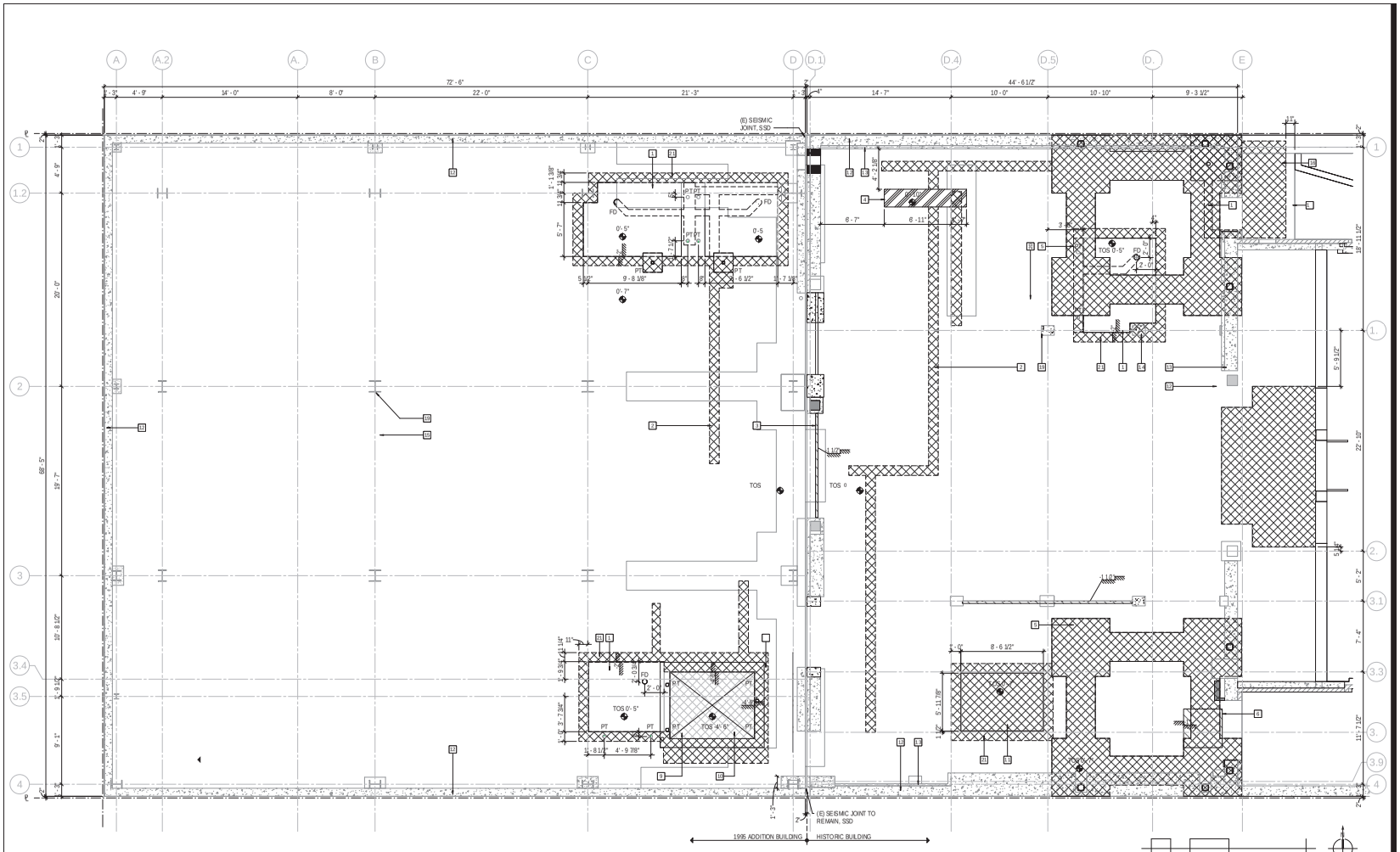
Drawing Title

UPPER ROOF PLAN

Sheet No.

A 2.15

Scale As indicated




## 1 GROUND FLOOR SLAB PLAN

1/4" = 1'-0"

## SHEET NOTES

1. COORDINATE WITH CITY REPRESENTATIVE PRIOR TO FLOOR BOX AND/OR POKE-THRUS ROUGH IN.
2. ALL DEMOLISHED FLOOR BOXES AND POKE-THRUS SHALL BE FILLED IN WITH CONCRETE TO MATCH EXISTING ADJACENT SURFACE. SEE SHEETS E1.12 & E1.22.
3. CAREFULLY REMOVE SLAB MATERIAL AT FLOOR BOXES AND CONDUIT RUNS SUPPORTING FLOOR BOXES. COORDINATE PATCH AND REPAIR WITH STRUCTURAL ENGINEER AND ARCHITECT.
4. PROVIDE SPECIFIED VAPOR RETARDER UNDER ALL NEW SLAB-ON-GRADE CONSTRUCTION AND ABOVE COMPACTED AGGREGATE DRAINAGE MATERIAL AS INDICATED ON STRUCTURAL DRAWINGS. DETAIL PERIMETER JOINTS AND LAPS PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE CONTINUOUS BENTONITE WATERSTOP TAPE AT ALL EDGE TO EDGE SLAB COLD JOINTS.
5. CONDUIT PATHWAYS IN SLAB ARE NOT SHOWN BUT REQUIRE COORDINATION WITH FLOOR BOX LOCATIONS. TRENCHING IN EXISTING CONCRETE SLAB FOR PATHWAYS SHOULD BE ASSUMED AND LAYOUT SHOULD BE CONFIRMED WITH VENDORS AND DESIGN TEAM PRIOR TO CONSTRUCTION.
6. FLOOR BOX LOCATIONS FOR SPECIALIZED EQUIPMENT SUCH AS FLOOR CLOSERS AND LIBRARY SECURITY EQUIPMENT SHOULD BE CONFIRMED IN FIELD WITH VENDOR AND ARCHITECT.
7. COORDINATE WITH PLUMBING DRAWINGS THE EXACT LOCATION FOR PIPE PENETRATIONS THROUGH SLABS.
8. APPLY CEMENTITIOUS FILL TO (E) CONCRETE ROOF SLOPES SHOWN ON A 0.24 TO ACHIEVE (N) SLOPES SHOWN ABOVE

## KEY NOTES

1. TOILET DEPRESSION, S/PD FOR PIPE & DRAIN PENETRATIONS.
2. SLAB IN FILL FOR REMOVED AND CAP PLUMBING PIPE, S/PD
3. RECESSED SLAB FOR OPERABLE PARTITIONS TRACKS.
4. CONC. PAD FOR ELECT SWITCH BD. TYP., FOR MEP PADS & EQUIP. CURBS, SIZE, HEIGHT & LOCATION COORDINATE W/ MEP EQUIPMENT LIST & STRUCTURAL DWGS FOR REINFORCEMENT, SSD.
5. OPENING FOR FOOTINGS. UPON COMPLETION, SHALL BE FILLED-IN WITH (N) STRUCTURAL SLAB, SSD.
6. RECESSED SLAB FOR RECESSED MAT
8. ELEVATOR PIT WALL BELOW SLAB, SSD FOR HES FOOTINGS.
9. NEW SLAB BELOW
10. ELEVATOR PIT OPENING, SEE A7 SERIES, SSD
11. STRUCTURAL CONC. SLAB INFILL. SSD
12. (E) WALL TO REMAIN, SSD.
13. (E) SHOTCRETE TO REMAIN, SSD
14. SLAB IN FILL FOR REMOVED AND CAP PLUMBING PIPE, S/PD
15. (E) FOOTING TO REMAIN, SHOWN DASHED FOR REFERENCE. SSD.
16. CONC. AT (E) LANDING
17. EDGE OF (E) CONC. THREAD
18. OPENING FOR FIRE PROTECTION. SFPD
19. (E) COLUMNS TO REMAIN, SSD.
19. SLAB IN FILL FOR REMOVED AND CAP PLUMBING PIPE, SPD
20. INFILL W/ NEW SOG AT FOOT PRINT OF REMOVED CONCRETE WALL. PREPARE FOR NEW FL FINISH.
21. TYP. CUT BACK OF EDGE OF SLAB, SSD

## LEGEND

- EXISTING SLAB
- NEW INFILL SLAB MATCH ADJACENT SLAB ELEVATIONS, UON, SSD
- NEW INFILL SLAB, DEPRESSED 2" AT GROUND FL, 1.5" AT UPPER LEVELS, UON, SSD
- NEW EQUIPMENT CONC PAD, SED, SSD
- NEW OPENING IN EXISTING CONC. FILLED METAL DECK ROOF, SMD, S/PD, SSD.
- EXISTING OPENING TO REMAIN, SMD, SPD, SSD.
- SLAB STEP
- ELEVATION POINT
- FD — FLOOR DRAIN, TO MATCH ADJACENT FLOOR ELEVATION - SPD
- FB — FLOOR BOX, TO MATCH EXISTING ADJACENT FLOOR ELEVATION - SED
- PT — POKE THRU - SSD, SPD, SMD. SED FOR EXACT LOCATION
- (N) RD/OD — NEW OPENING FOR ROOF DRAIN / OVERFLOW ROOF DRAIN
- (E) RD/OD — EXISTING OPENING FOR ROOF DRAIN / OVERFLOW ROOF DRAIN TO REMAIN
- TOS — TOP OF SLAB
- TOC — TOP OF CONCRETE CURB, 34'-6" UON
- (E) 12x6 FLOOR OPENING TO BE REUSED. (N) OPENING TO BE 14x6, WO

Original Sheet Size: 30" x 42"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GROUND FLOOR SLAB PLAN

Sheet No. A 2.21

Scale 1/4" = 1'-0"


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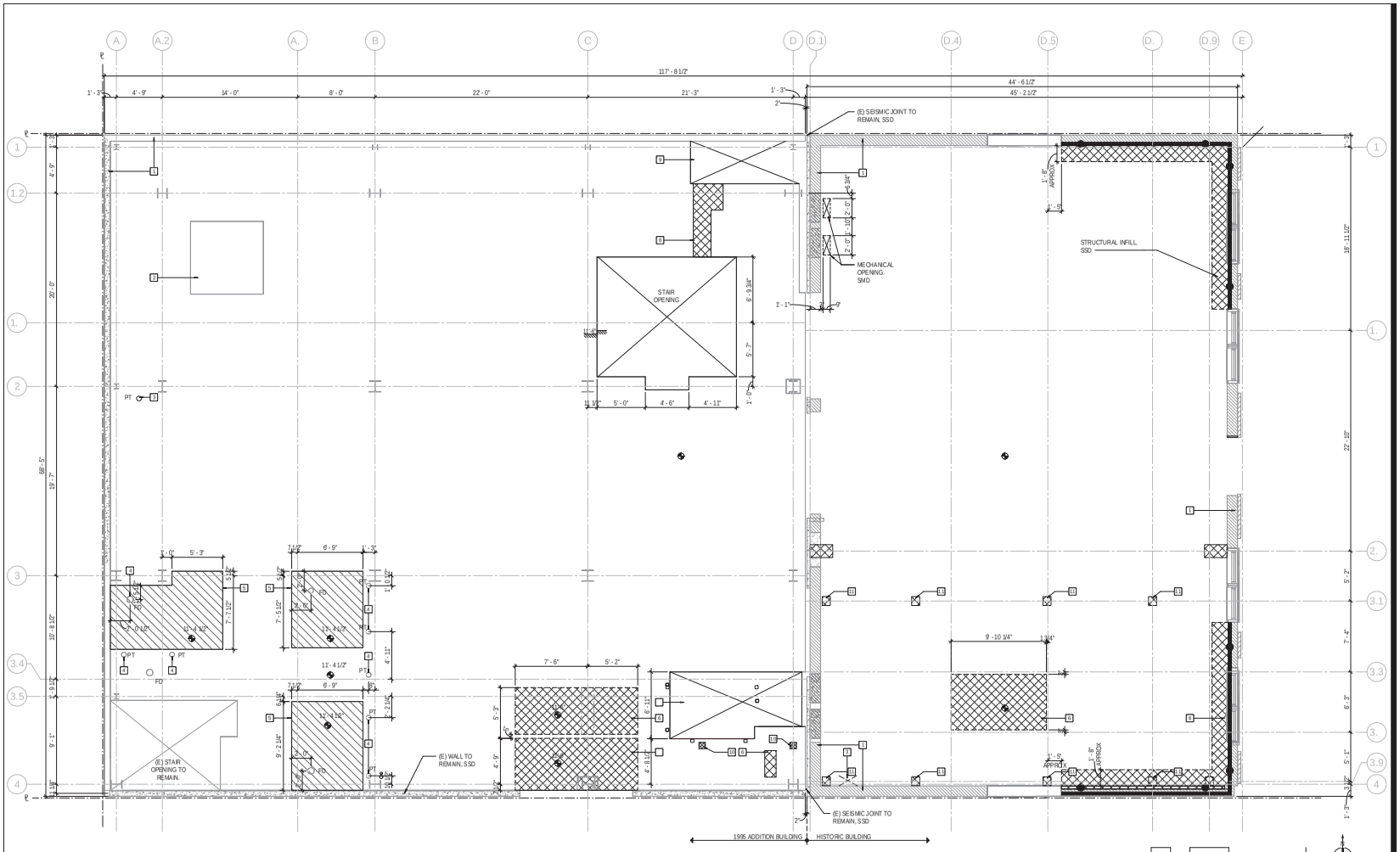


1 MAIN FLOOR SLAB PLAN
1/4" = 1'-0"

## SHEET NOTES

1. COORDINATE WITH CITY REPRESENTATIVE PRIOR TO FLOOR BOX AND/OR POKE-THRUS ROUGH IN.
2. ALL DEMOLISHED FLOOR BOXES AND POKE-THRUS SHALL BE FILLED IN WITH CONCRETE TO MATCH EXISTING ADJACENT SURFACE. SEE SHEETS E1.12 & E1.22.
3. CAREFULLY REMOVE SLAB MATERIAL AT FLOOR BOXES AND CONDUIT RUNS SUPPORTING FLOOR BOXES. COORDINATE PATCH AND REPAIR WITH STRUCTURAL ENGINEER AND ARCHITECT.
4. PROVIDE SPECIFIED VAPOR RETARDER UNDER ALL NEW SLAB-ON-GRADE CONSTRUCTION AND ABOVE COMPACTED AGGREGATE DRAINAGE MATERIAL AS INDICATED ON STRUCTURAL DRAWINGS. DETAIL PERIMETER JOINTS AND LAPS PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE CONTINUOUS BENTONITE WATERSTOP TAPE AT ALL EDGE TO EDGE SLAB COLD JOINTS.
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6. FLOOR BOX LOCATIONS FOR SPECIALIZED EQUIPMENT SUCH AS FLOOR CLOSERS AND LIBRARY SECURITY EQUIPMENT SHOULD BE CONFIRMED IN FIELD WITH VENDOR AND ARCHITECT.
7. COORDINATE WITH PLUMBING DRAWINGS THE EXACT LOCATION FOR PIPE PENETRATIONS THROUGH SLABS.
8. APPLY CEMENTITIOUS FILL TO (E) CONCRETE ROOF SLOPES SHOWN ON A 0.24 TO ACHIEVE (N) SLOPES SHOWN ABOVE

## KEY NOTES

1 (E) WALL TO REMAIN.
2 (E) GLASS FLOOR TO REMAIN. PROTECT
3 (E) WALL TO REMAIN.
3 SLAB OPENINGS, SMD
4 PLUMBING OPENINGS. SPD
5 TOILET DEPRESSION. SPD FOR PIPE & DRAIN PENETRATIONS.
6 STRUCTURAL INFILL. SSD
7 LEVELING SLAB (FORMER ROOF OPENING). SSD
8 ELEVATOR AND SHAFT OPENING. SEE A7 SERIES & SSD
9 SHAFT OPENING
10 LEVELING SLAB FORMER COLUMN BASE FOR ELEVATOR)
11 LEVELING SLAB FORMER COLUMN BASE FOR MEZZANINE BASE PLATE)

## LEGEND

EXISTING SLAB
NEW INFILL SLAB MATCH ADJACENT SLAB ELEVATIONS, UON, SSD
NEW INFILL SLAB, DEPRESSED 2" AT GROUND FL., 1.5" AT UPPER LEVELS. UON, SSD
NEW EQUIPMENT CONC PAD. SED, SSD
NEW OPENING IN EXISTING CONC. FILLED METAL DECK ROOF, SMD, SPD, SSD
EXISTING OPENING TO REMAIN, SMD, SPD, SSD.
SLAB STEP
ELEVATION POINT
FD FLOOR DRAIN, TO MATCH ADJACENT FLOOR ELEVATION - SPD
FB FLOOR BOX, TO MATCH EXISTING ADJACENT FLOOR ELEVATION - SED
PT POKE THRU - SSD, SPD, SMD, SED FOR EXACT LOCATION
(N) RD/OD NEW OPENING FOR ROOF DRAIN / OVERFLOW ROOF DRAIN
(E) RD/OD EXISTING OPENING FOR ROOF DRAIN / OVERFLOW ROOF DRAIN TO REMAIN
TOS TOP OF SLAB
TOC TOP OF CONCRETE CURB, 34'-6" UON
(E) 12x6 FLOOR OPENING TO BE REUSED. (N) OPENING TO BE 14x6, WO

Original Sheet Size: 30" x 42"

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Drawing Title

MAIN FLOOR SLAB PLAN

Sheet No. A 2.22
Scale 1/4" = 1'-0"

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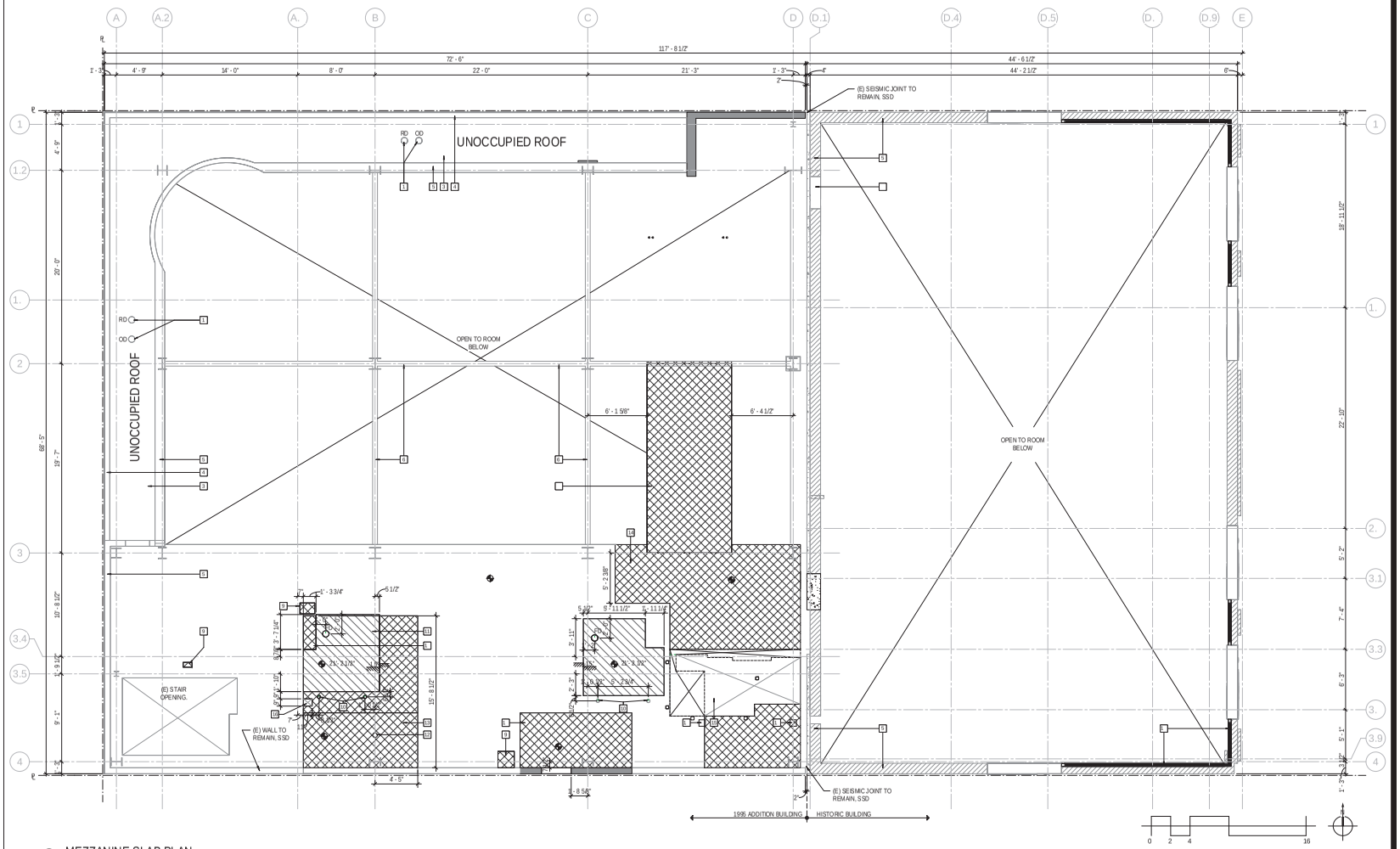


1 MEZZANINE SLAB PLAN
1/4" = 1'-0"

## SHEET NOTES

1. COORDINATE WITH CITY REPRESENTATIVE PRIOR TO FLOOR BOX AND/OR POKE-THRUS ROUGH IN.
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6. FLOOR BOX LOCATIONS FOR SPECIALIZED EQUIPMENT SUCH AS FLOOR CLOSERS AND LIBRARY SECURITY EQUIPMENT SHOULD BE CONFIRMED IN FIELD WITH VENDOR AND ARCHITECT.
7. COORDINATE WITH PLUMBING DRAWINGS THE EXACT LOCATION FOR PIPE PENETRATIONS THROUGH SLABS.
8. APPLY CEMENTITIOUS FILL TO (E) CONCRETE ROOF SLOPES SHOWN ON A 0.24 TO ACHIEVE (N) SLOPES SHOWN ABOVE

## KEY NOTES

1 NEW RD/OD, IN EXISTING PENETRATION. SPD
3 (E) EXTERIOR SLAB TO REMAIN
4 (E) CONCRETE CURB TO REMAIN
5 (E) WALL TO REMAIN, SSD
6 (E) STEEL BEAMS. 20'-9 1/2" TOP OF SEEL. SHOWN FOR REFERENCE ONLY
7 STRUCTURAL SLAB OVER VETAL DECK. SSD
8 (E) WALL TO REMAIN, SSD
9 STRUCTURAL INFILL AT FORMER HVAC. SSD
10 PLUMBING OPENING. SPD
11 TOILET DEPRESSION. SPD FOR PIPE & DRAIN PENETRATIONS.
12 IN-FILL FORMER ROOF DRAIN. SSD
13 LEVELING SLAB. SEE DEMOLITION DRAWINGS & SSD
14 STRUCTURAL INFILL (N) DECKING, SSD
15 ELEV. AND SHAFT OPENING. SEE A7 SERIES & SSD
16 MECHANICAL OPENING. SMD
17 LEVELING SLAB FORMER COLUMN BASE FOR ELEVATOR)
18 STRUCTURAL INFILL. SSD

## LEGEND

EXISTING SLAB
NEW INFILL SLAB MATCH ADJACENT SLAB ELEVATIONS, UON, SSD
NEW INFILL SLAB, DEPRESSED 2" AT GROUND FL, 1.5" AT UPPER LEVELS, UON, SSD
NEW EQUIPMENT CONC PAD, SED, SSD
NEW OPENING IN EXISTING CONC. FILLED METAL DECK ROOF, SMD, SPD, SSD.
EXISTING OPENING TO REMAIN, SMD, SPD, SSD.
SLAB STEP
ELEVATION POINT
FD — FLOOR DRAIN, TO MATCH ADJACENT FLOOR ELEVATION - SPD
FB — FLOOR BOX, TO MATCH EXISTING ADJACENT FLOOR ELEVATION - SED
PT — POKE THRU - SSD, SPD, SMD, SED FOR EXACT LOCATION
(N) RD/OD — NEW OPENING FOR ROOF DRAIN / OVERFLOW ROOF DRAIN
(E) RD/OD — EXISTING OPENING FOR ROOF DRAIN / OVERFLOW ROOF DRAIN TO REMAIN
TOS — TOP OF SLAB
TOC — TOP OF CONCRETE CURB, 34'-8" UON
(E) 12x6 FLOOR OPENING TO BE REUSED. (N) OPENING TO BE 14x6, WO

Original Sheet Size: 30" x 42"

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Drawing Title

MEZZANINE SLAB PLAN

Sheet No. A 2.23
Scale 1/4" = 1'-0"

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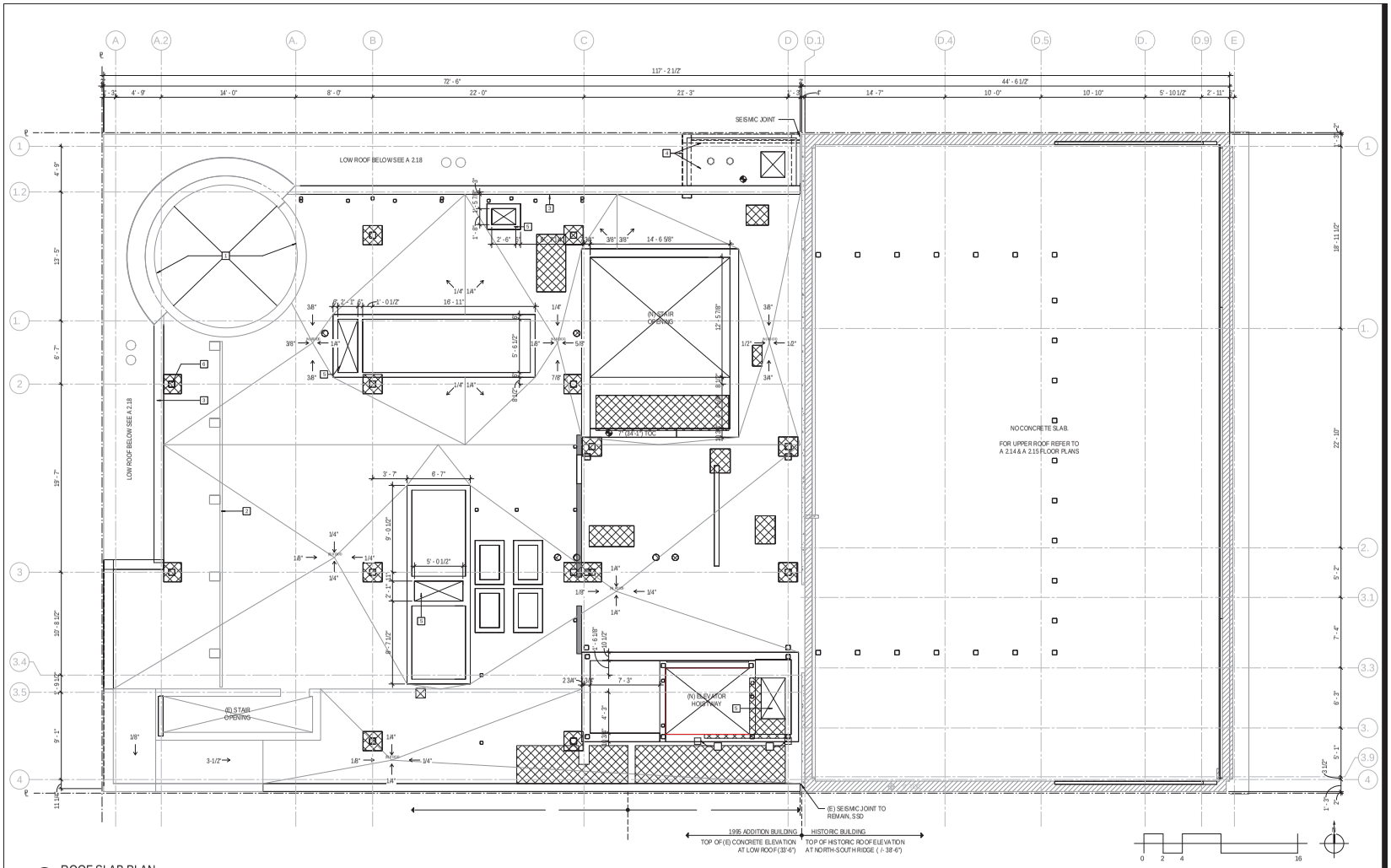


1 ROOF SLAB PLAN
1/4" = 1'-0"

## SHEET NOTES

1. COORDINATE WITH CITY REPRESENTATIVE PRIOR TO FLOOR BOX AND/OR POKE-THRUS ROUGH IN.
2. ALL DEMOLISHED FLOOR BOXES AND POKE-THRUS SHALL BE FILLED IN WITH CONCRETE TO MATCH EXISTING ADJACENT SURFACE. SEE SHEETS E1.12 & E1.22.
3. CAREFULLY REMOVE SLAB MATERIAL AT FLOOR BOXES AND CONDUIT RUNS SUPPORTING FLOOR BOXES. COORDINATE PATCH AND REPAIR WITH STRUCTURAL ENGINEER AND ARCHITECT.
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7. COORDINATE WITH PLUMBING DRAWINGS THE EXACT LOCATION FOR PIPE PENETRATIONS THROUGH SLABS.
8. APPLY CEMENTITIOUS FILL TO (E) CONCRETE ROOF SLOPES SHOWN ON A 0.24 TO ACHIEVE (N) SLOPES SHOWN ABOVE

## KEY NOTES

1 (E) OPENING TO REMAIN
2 (E) FENCING TO REMAIN, SEE A2.14
3 (E) CONCRETE CURB
4 (N) BALLOON FRAME PARAPET AND BARE METAL DECK, SEE A2.14
5 (N) MECHANICAL OPENINGS, SMD
6 (N) HSS COLUMN OVER (E) BEAM BELOW, WITH GROUTED PATCH, SSD, TYP OF 11
7 LEVELING SLAB FORMER COLUMN BASE FOR ELEVATOR)

## LEGEND

EXISTING SLAB
NEW INFILL SLAB MATCH ADJACENT SLAB ELEVATIONS, UON, SSD
NEW INFILL SLAB, DEPRESSED 2" AT GROUND FL, 1.5" AT UPPER LEVELS, UON, SSD
NEW EQUIPMENT CONC PAD, SED, SSD
NEW OPENING IN EXISTING CONC, FILLED METAL DECK ROOF, SMD, SPD, SSD.
EXISTING OPENING TO REMAIN, SMD, SPD, SSD.
SLAB STEP
ELEVATION POINT
FD FLOOR DRAIN, TO MATCH ADJACENT FLOOR ELEVATION - SPD
FB FLOOR BOX, TO MATCH EXISTING ADJACENT FLOOR ELEVATION - SED
PT POKE THRU - SSD, SPD, SMD, SED FOR EXACT LOCATION
(N) RD/OD NEW OPENING FOR ROOF DRAIN / OVERFLOW ROOF DRAIN
(E) RD/OD EXISTING OPENING FOR ROOF DRAIN / OVERFLOW ROOF DRAIN TO REMAIN
TOS TOP OF SLAB
TOC TOP OF CONCRETE CURB, 34'-6" UON
(E) 12x6 FLOOR OPENING TO BE REUSED. (N) OPENING TO BE 14x6, WO

Original Sheet Size: 30" x 42"


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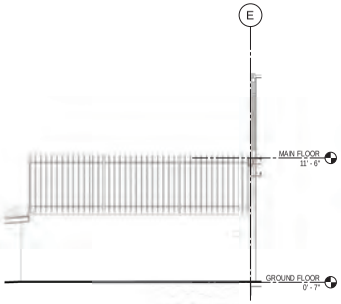
Drawing Title

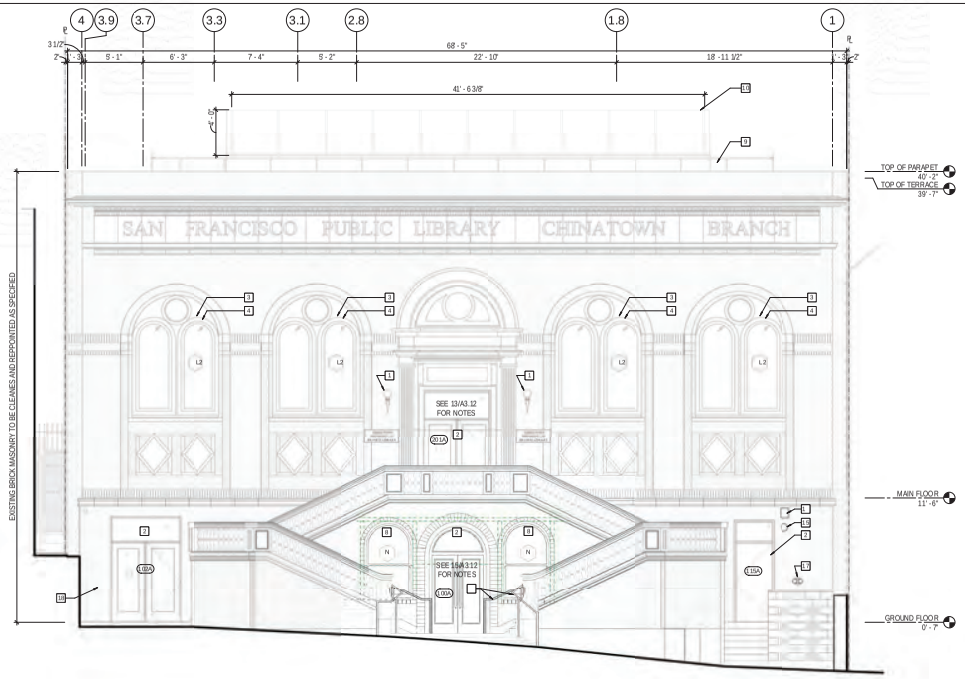
ROOF SLAB PLAN

Sheet No. A 2.24

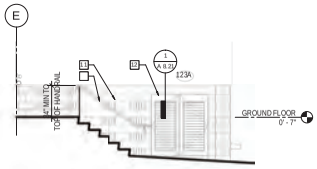
Scale 1/4" = 1'-0"



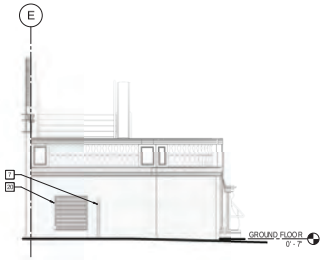

18 SOUTH WALL AT PROPERTY LINE
1/4" = 1'-0"



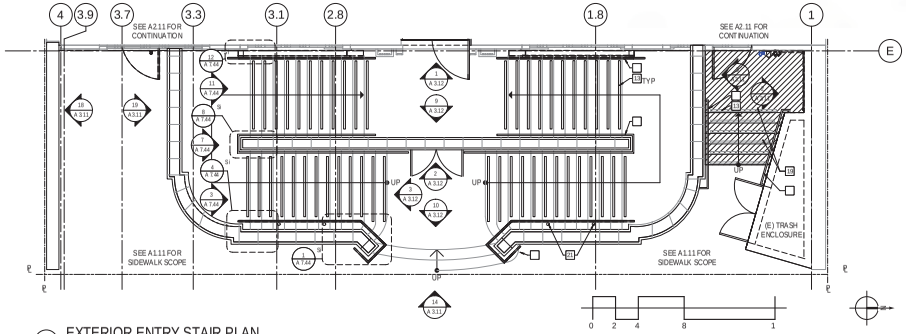

14 EAST EXTERIOR ELEVATION
1/4" = 1'-0"



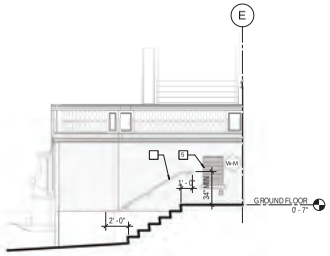

2 SOUTH ELEVATION AT EXIT STAIR
1/4" = 1'-0"




19 SOUTH ELEVATION AT ENTRY STAIR
1/4" = 1'-0"




15 EXTERIOR ENTRY STAIR PLAN
1/4" = 1'-0"




3 NORTH ELEVATION AT ENTRY STAIR
1/4" = 1'-0"

## SHEET NOTES

1. EXISTING "NIXALITE" BIRD CONTROL SPIKES TO BE REMOVED. CONTRACTOR TO REPLACE IN KIND WITH NEW "NIXALITE" BIRD CONTROL SPIKES IN ORIGINAL LOCATIONS AT CONCLUSION OF FACADE RESTORATION.
2. ALL (E) TO REMAIN SURFACES TO BE CLEANED PRIOR TO REPAIR/RESTORATION/PAINTING, SEE SPECS

## KEY NOTES

1. (E) HISTORIC LIGHT FIXTURES TO BE SALVAGED, REFURBISHED AND REINSTALLED
2. (N) ENTRY IN (E) OPENING, REPAIR OPENING AS REQUIRED TO RECEIVE NEW ENTRY
3. HISTORIC WOOD WINDOW TO BE RESTORED AS NOTED AND SPECIFIED
4. CLEAN, PATCH, REPAIR AND REPAINT (E) ARCHITECTURAL WOODWORK, TYPICAL. REMOVE FLAKING MATERIAL, REPLACE AND ROTTED WOOD WITH THE NEW WEATHER RESISTANT WOOD MATERIAL AND SEAL ALL OINTS PRIOR TO PRIMING AND PAINTING.
5. CLEAN, PREP, AND PAINT (E) LOUVER
6. (N) 1-1/2" DIAMETER HANDRAIL, US10B OIL-RUBBED BRONZE MATERIAL
7. (E) AUTOMATIC DOOR OPENER BUTTON
8. (N) WINDOW IN (E) OPENING, REPAIR OPENING AS REQUIRED TO RECEIVE (N) WINDOW
9. (N) GUARDRAIL, 3'-6" AFF
10. (N) GLASS WALL, 7'-0" HT ABOVE ROOF DECK
11. CLEAN (E) CMU WALLS
12. ENLARGE OPENINGING HEIGHT AND REPLACE (E) DOORS. SEE DOOR SCHEDULE FOR NEW DOOR DIMENSIONS
13. 2" MIN CONTRAST STRIPE ON STAIRS
14. (E) FOUNDATION SAND TRAP TO REMAIN.
15. (N) FIRE ALARM BELL
16. (E) PULL BOX TO REMAIN
17. (E) FDC CONNECTION TO REMAIN
18. (N) FIRE DEPARTMENT LOCK BOX. CONFIRM SIZE AND LOCATION WITH ARCHITECT PRIOR TO STARTING WORK
19. (N) CONC STAIR AND LANDING TO MATCH (E), SHOWN HATCHED, SEE A7.31
20. CLEAN, PREP, AND PAINT (E) LOUVER
21. PATCH REMOVED HANDRAIL PENETRATION, TYP

## LEGEND

EXISTING BRICK MASONRY

HALF-TONE LINES INDICATE EXISTING CONSTRUCTION TO REMAIN

Original Sheet Size: 30" x 42"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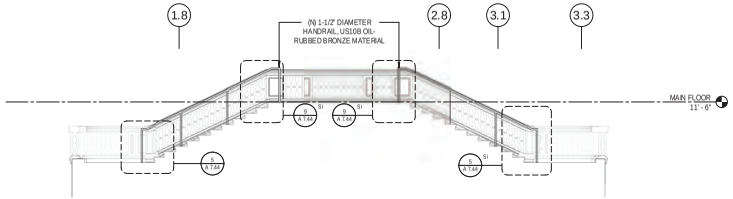
Drawing Title

EAST BUILDING ELEVATION ENTRY STAIR PLAN

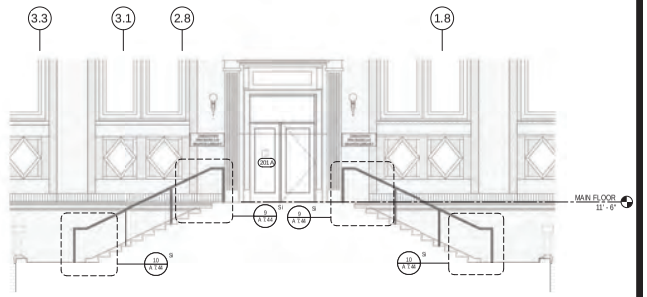
Sheet No.

A 3.11

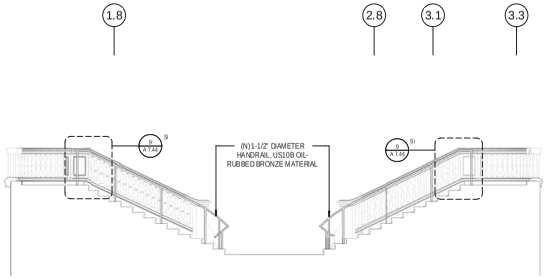
Scale: As indicated



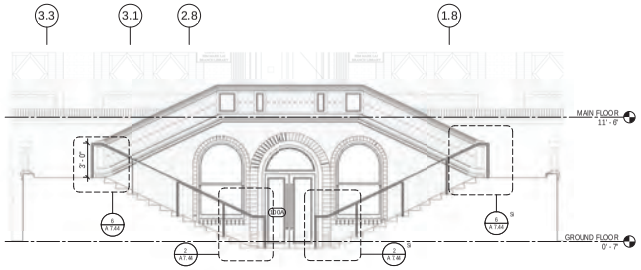

9 WEST SECTION ELEVATION AT TOP LANDING
1/4" = 1'-0"



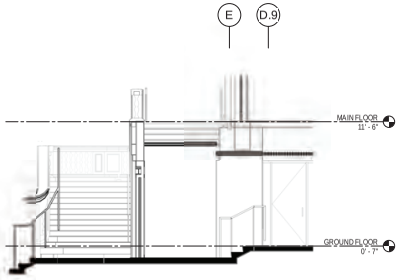

1 EAST ELEVATION AT ENTRY STAIR TOP LANDING
1/4" = 1'-0"




10 WEST SECTION ELEVATION AT BOTTOM LANDING
1/4" = 1'-0"




2 EAST ELEVATION AT ENTRY STAIR BOTTOM LANDING
1/4" = 1'-0"




3 NORTH SECTION ELEVATION
1/4" = 1'-0"

## SHEET NOTES

1. FACADE CONDITION LEGEND AND NOTES DEPICT MOST SIGNIFICANTLY DAMAGED AREAS THAT REQUIRE SPECIFIC ATTENTION. CONTRACTOR TO ASSESS ALL FACADES OF BUILDING AND REPAIR SPALLS, CRACKS AND CHIPS AS SPECIFIED IN SPECIFICATION SECTION 04 03 26 HISTORIC TERRA COTTA UNIT MASONRY REPAIR.
2. ENTIRE TERRA COTTA FACADE ON ALL FOUR ELEVATIONS SHALL BE REPOINTED PER SPECIFICATION SECTION 04 03 27 HISTORIC TERRA COTTA UNIT MASONRY REPOINTING.
3. GENERAL SOILING & STAINING AND ORGANIC GROWTH: BRUSH ORGANIC GROWTH FROM TERRA COTTA SURFACE AND CLEAN FACE ALL SURFACES. REMOVE ALL GRAFFITI AS SPECIFIED.
4. REPAIR, REGLAZE, AND REPAINT WINDOWS AS SPECIFIED IN SECTION 08 03 52 TREATMENT OF HISTORIC WOOD WINDOWS.
5. EXISTING "NIXALITE" BIRD CONTROL SPIKES TO BE REMOVED. CONTRACTOR TO REPLACE IN KIND WITH NEW "NIXALITE" BIRD CONTROL SPIKES IN ORIGINAL LOCATIONS AT CONCLUSION OF FACADE RESTORATION.
6. REMOVE ALL EXISTING METAL WINDOW GRILLES. REMOVE PAINT AND CORROSION AND PREP FOR REPAINT. PAINT AS SPECIFIED IN SPECIAL COATINGS FOR STEEL IN COLOR SELECTED BY ARCHITECT, REINSTALL.
7. FOR TERRA COTTA GLAZE SPALLS, SOUND AD ACENT TERRA COTTA SURFACES AND REMOVE LOOSE GLAZE. PREPARE BISQUE SURFACE AND INSTALL COATING TO MATCH EXISTING GLAZE IN TEXTURE, COLOR AND FINISH.
8. FOR TERRA COTTA BISQUE SPALLS, PATCH SPALL AND INSTALL COATING TO MATCH EXISTING GLAZE IN TEXTURE, COLOR AND FINISH.
9. ALL (E) TO REMAIN SURFACES TO BE CLEANED PRIOR TO REPAIR/ RESTORATION/ PAINITNG, SEE SPECS

## KEY NOTES

## LEGEND

- EXISTING BRICK MASONRY
- REPAINT (E) CONC
- (N) EIFS SYSTEM ON (E) STUDS, SEE / WP 2.0
- (N) EIFS SYSTEM OVER CLEANED (E) EIFS, SEE 2/ WP 2.0
- (N) DRAINABLE EIFS SYSTEM, SEE 2/ WP 2.2

Original Sheet Size: 30" x 42"

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ENTRY STAIR SECTION ELEVATIONS

Sheet No. A 3.12

Scale: As Indicated

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Sourcing Event ID.

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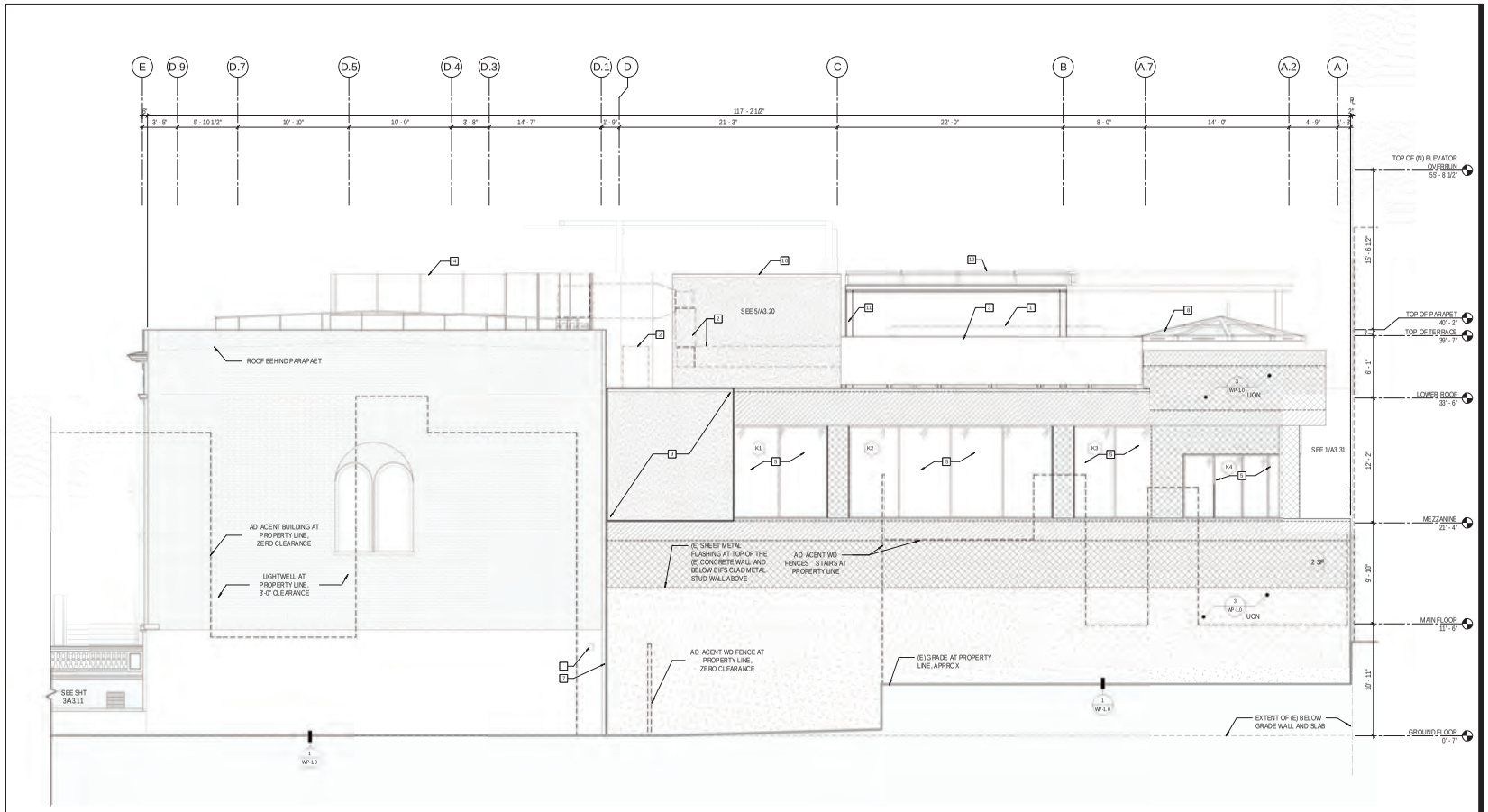


2 NORTH BUILDING ELEVATION
1/4" = 1'-0"

## SHEET NOTES

1. ALL (E) TO REMAIN SURFACES TO BE CLEANED PRIOR TO REPAIR RESTORATION/ PAINTING, SEE SPECS
2. CLEAN ENTIRE FACADE, INCLUDING EIFS AND BRICK, REMOVE ANY BIOLOGICAL GROWTH AND CLEAN ANY STAINING.
3. ASSUME % REPOINTING AT BRICK MASONRY OINTS, SEE DETAIL 4 ON SHEET RL.06.
4. ALL EIFS TO BE REPAIRED, RENEWED AND REPAINTED. SEE WP DRAWINGS FOR EIFS RESTORATION, DAMAGE REPAIR, AND NEW ASSEMBLY DETAILS.
5. EIFS WALL SYSTEMS TO RECEIVE (N) PAINT. PAINT TO BE CUSTOM COLOR AS SELECTED BY ARCHITECT.
6. CEMENT PLASTER STUCCO TO BE CUSTOM COLOR AS SELECTED BY ARCHITECT.

## KEY NOTES

1 (N) MECHANICAL EQUIPMENT, SMD
2 (N) MECHANICAL DUCTWORK, SMD
3 (N) ACOUSTIC SCREEN
4 (N) TERRACE RAILING SYSTEM BEYOND, SEE A3.21 FOR ELEVATIONS AND DETAILS
5 (N) FRAME AND (N) 1-HR RATED TWO SIDE STRUCTURAL SILICONE GLAZING IN (E) OPENINGS AT LOCATIONS OF REMOVED (E) GLAZING, COMPLIES WITH ASTM E119, SEE G2.20
6 (N) NON-SHRINK GROUT INFILL AT (E) THROUGH WALL PENETRATION WHERE 8" DIAMETER CONDUIT WAS REMOVED
7 (N) SEISMIC OINT COVER WITH ALUMINUM COVER PLATE
8 (N) SKYLIGHT TO REPLACE (E)
9 (N) MECH SHAFT W/ (N) EIFS WALLS
10 (N) STAIR PENTHOUSE
11 (N) PHOTOVOLTAIC PANELS SUPPORT COLUMNS
12 (N) PHOTOVOLTAIC PANELS

## LEGEND

EXISTING BRICK MASONRY

REPAINT (E) CONC

(N) EIFS SYSTEM ON (E) STUDS, SEE / WP 2.0

(N) EIFS SYSTEM OVER CLEANED (E) EIFS, SEE 2/ WP 2.0

(N) DRAINABLE EIFS SYSTEM, SEE 2/ WP 2.2

Original Sheet Size: 30" x 42"

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NORTH BUILDING ELEVATION

Sheet No. A 3.13

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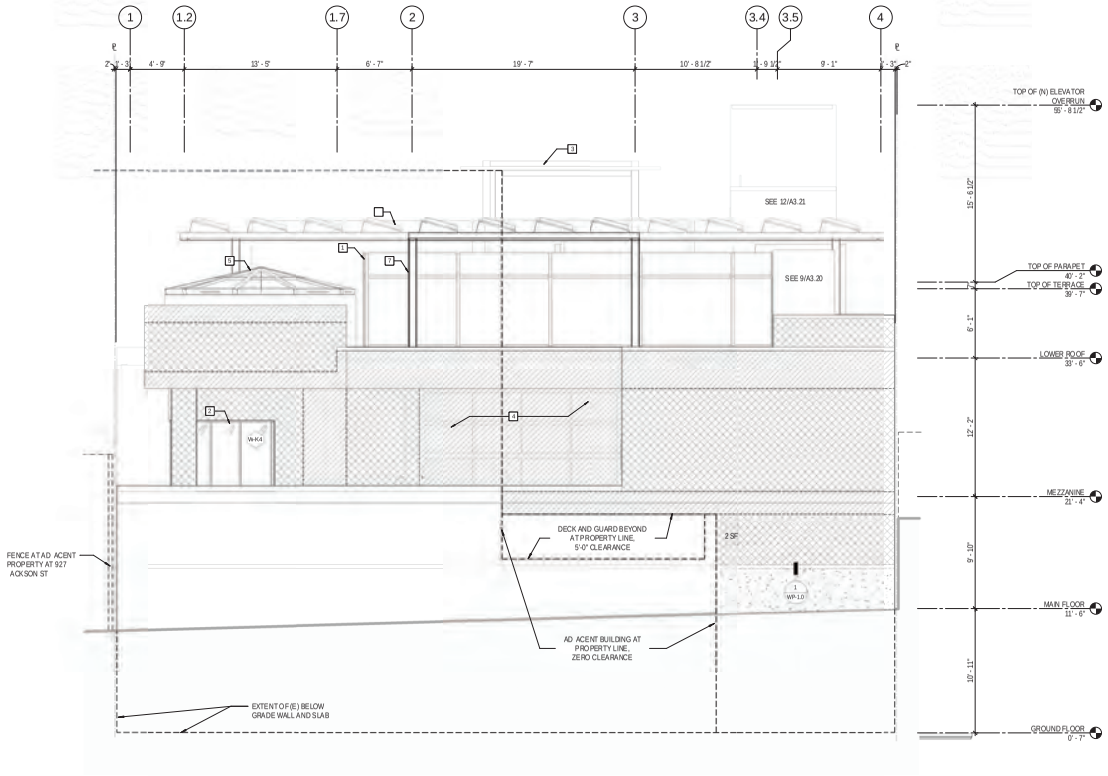


1 WEST BUILDING ELEVATION
1/4" = 1'-0"

## SHEET NOTES

1. ALL (E) TO REMAIN SURFACES TO BE CLEANED PRIOR TO REPAIR RESTORATION/ PAINITNG, SEE SPECS
2. CLEAN ENTIRE FACADE, INCLUDING EIFS AND BRICK, REMOVE ANY BIOLOGICAL GROWTH AND CLEAN ANY STAINING.
3. ASSUME % REPOINTING AT BRICK MASONRY JOINTS, SEE DETAIL 4 ON SHEET RL.06.
4. ALL EIFS TO BE REPAIRED, RENEWED AND REPAINTED. SEE WP DRAWINGS FOR EIFS RESTORATION, DAMAGE REPAIR, AND NEW ASSEMBLY DETAILS.
5. EIFS WALL SYSTEMS TO RECEIVE (N) PAINT. PAINT TO BE CUSTOM COLOR AS SELECTED BY ARCHITECT.
6. CEMENT PLASTER STUCCO TO BE CUSTOM COLOR AS SELECTED BY ARCHITECT.

## KEY NOTES

1. CLEAN PAINT (E) FENCE TO REMAIN
2. (N) FRAME AND TWO SIDE STRUCTURAL SILICONE GLAZING IN (E) OPENINGS AT LOCATIONS OF REMOVED (E) GLAZING
3. (N) OPEN STEEL TRELLIS WITH NO COVERING ABOVE
4. (E) EIFS RELIEF PATTERN TO REMAIN
5. (N) SKYLIGHT TO REPLACE (E)
6. (N) PHOTOVOLTAIC PANELS
7. (N) PHOTOVOLTAIC PANELS SUPPORT COLUMNS

## LEGEND

- EXISTING BRICK MASONRY
- REPAINT (E) CONC
- (N) EIFS SYSTEM ON (E) STUDS, SEE / WP 2.0
- (N) EIFS SYSTEM OVER CLEANED (E) EIFS, SEE 2/ WP 2.0
- (N) DRAINABLE EIFS SYSTEM, SEE 2/ WP 2.2

Original Sheet Size: 30" x 42"


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WEST BUILDING ELEVATION

Sheet No. A 3.14

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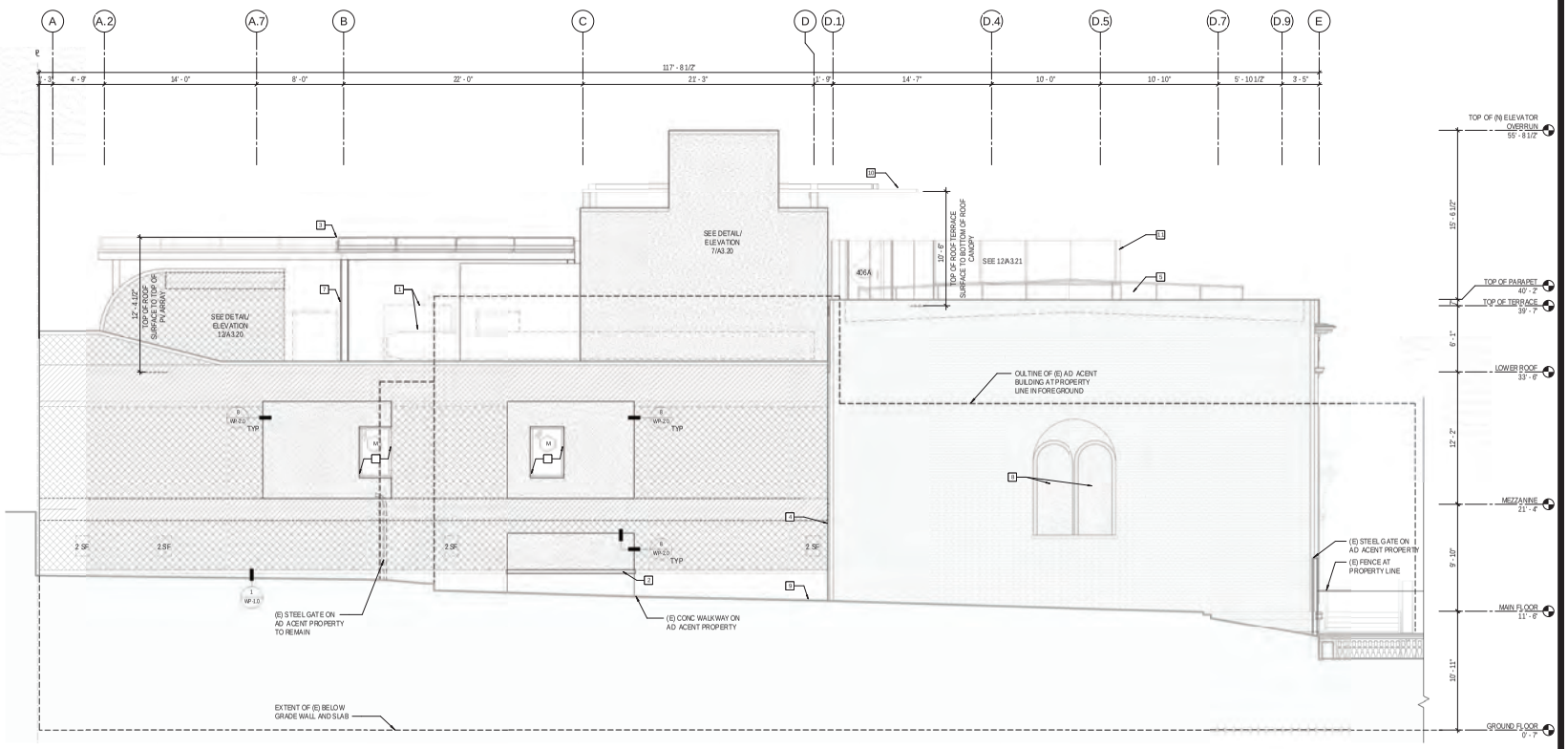


2 SOUTH BUILDING ELEVATION
1/4" = 1'-0"

## SHEET NOTES

1. ALL (E) TO REMAIN SURFACES TO BE CLEANED PRIOR TO REPAIR RESTORATION/ PAINTING, SEE SPECS
2. CLEAN ENTIRE FACADE, INCLUDING EIFS AND BRICK, REMOVE ANY BIOLOGICAL GROWTH AND CLEAN ANY STAINING.
3. ASSUME % REPOINTING AT BRICK MASONRY OINTS, SEE DETAIL 4 ON SHEET RL.06.
4. ALL EIFS TO BE REPAIRED, RENEWED AND REPAINTED. SEE WP DRAWINGS FOR EIFS RESTORATION, DAMAGE REPAIR, AND NEW ASSEMBLY DETAILS.
5. EIFS WALL SYSTEMS TO RECEIVE (N) PAINT. PAINT TO BE CUSTOM COLOR AS SELECTED BY ARCHITECT.
6. CEMENT PLASTER STUCCO TO BE CUSTOM COLOR AS SELECTED BY ARCHITECT.

## KEY NOTES

1 MECHANICAL EQUIPMENT, SMD
2 METAL FLASHING OVER (E) CONC WALL, UNDER (N) METAL STUD WALL, SEE DETAIL
3 PHOTOVOLTAIC PANELS
4 SEISMIC OINT COVER WITH ALUMINUM COVER PLATE
5 GUARDRAIL, 3'-6" AFF
6 1-HR RATED GLAZED ASSEMBLY COMPLIES WITH ASTM E119 SEE G2.20
(N) 1-HR RATED GLAZED ASSEMBLY COMPLIES WITH ASTM E119, SEE G2.20
7 PHOTOVOLTAIC PANELS SUPPORT COLUMNS
8 (E) EIFS INFILL PANELS TO REMAIN, REPAIR, REPAINT, AND RESEAL USING GUIDELINES OUTLINED ON WP-2.0
9 TERMINATION BAR AND FASTENERS WITH (N) COUNTERFLASHING OVER
10 TRELLIS
11 GLASS WINDSCREEN, 7'-0" AFF

## LEGEND

EXISTING BRICK MASONRY
REPAINT (E) CONC
(N) EIFS SYSTEM ON (E) STUDS, SEE / WP 2.0
(N) EIFS SYSTEM OVER CLEANED (E) EIFS, SEE 2/ WP 2.0
(N) DRAINABLE EIFS SYSTEM, SEE 2/ WP 2.2

Original Sheet Size: 30" x 42"


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SOUTH BUILDING ELEVATION

Sheet No. A 3.15

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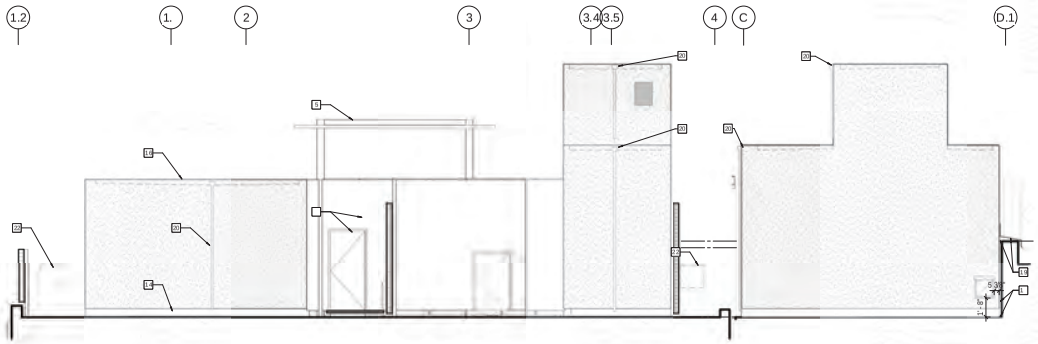
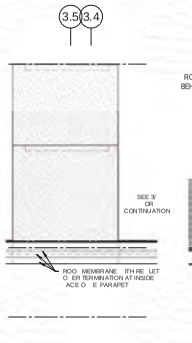


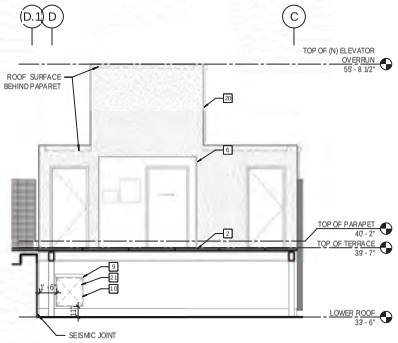
10 ELEVATOR & STAIR PENTHOUSE #2 - WEST
1/4" = 1'-0"



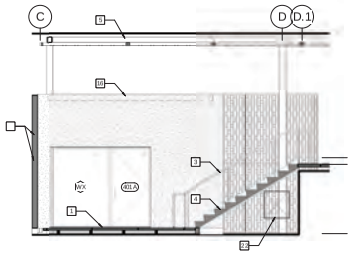
7 ELEVATOR PENTHOUSE - SOUTH
1/4" = 1'-0"



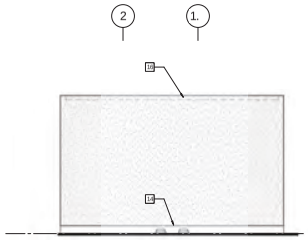

4 ELEVATOR PENTHOUSE - EAST
1/4" = 1'-0"



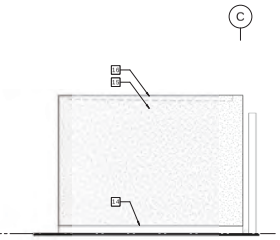

1 ELEVATOR PENTHOUSE - NORTH
1/4" = 1'-0"



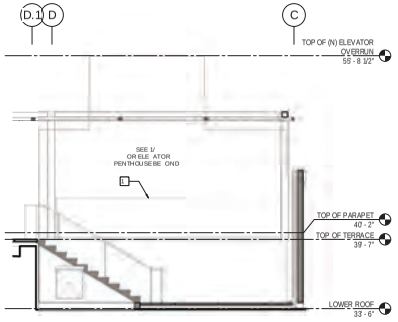
11 STAIR PENTHOUSE #2 - SOUTH
1/4" = 1'-0"



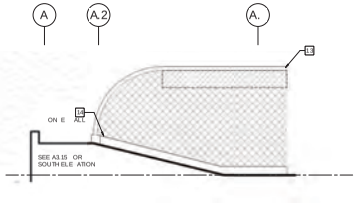
8 STAIR PENTHOUSE #2 - EAST
1/4" = 1'-0"



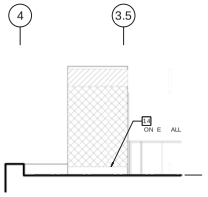
5 STAIR PENTHOUSE #2 - NORTH
1/4" = 1'-0"



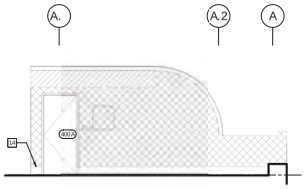

2 ELEVATOR PENTHOUSE FROM STAIR #2 PENTHOUSE - NORTH
1/4" = 1'-0"



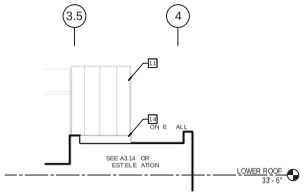
12 STAIR PENTHOUSE #1 - SOUTH
1/4" = 1'-0"



9 STAIR PENTHOUSE #1 - EAST
1/4" = 1'-0"



6 STAIR PENTHOUSE #1 - NORTH
1/4" = 1'-0"




3 STAIR PENTHOUSE #1 - WEST
1/4" = 1'-0"

## SHEET NOTES

## KEY NOTES

1 LOW-PROFILE PAVER PEDESTAL SYSTEM
2 PAVERS OVER STEEL GRATING
3 HANDRAIL
4 STEEL STAIR
5 OPEN STEEL TRELLIS WITH NO COVERING ABOVE
6 STEEL CANOPY
7 FENCE & GATE
9 GSM HEAD FLASHING, SOLDERED END CAPS
10 VIBRATION ISOLATION ALL FOUR SIDES
11 STANDING SEAM ROOF AND FLASHING OVER EXISTING CURVED METAL DECK ROOF
13 GSM FLASHING AND ROOF MEMBRANE AT EXISTING ROOF
14 GSM REGLET OVER ROOF TERMINATION
15 CONTROL JOINT, TYP
16 GSM PARAPET CAP
17 GLASS HANDRAIL
18 ROOF & WALL SEISMIC JOINT COVERS
19 REGLET & PARAPET FLASHING OVER SEISMIC JOINT COVER
20 CONDUCTOR HEAD & RAIN WATER LEADER
21 THROUGH WALL DUCT PENETRATION, SMD
22 MECH DUCT, SMD

## LEGEND

EXISTING BRICK MASONRY

REPAINT (E) CONC

(N) EIFS SYSTEM ON (E) STUDS,
SEE #/ WP 2.0

(N) EIFS SYSTEM OVER CLEANED (E) EIFS,
SEE 2/ WP 2.0

(N) DRAINABLE EIFS SYSTEM,
SEE 2/ WP 2.2

Original Sheet Size: 30" x 42"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ROOF EXTERIOR ELEVATIONS

Sheet No.

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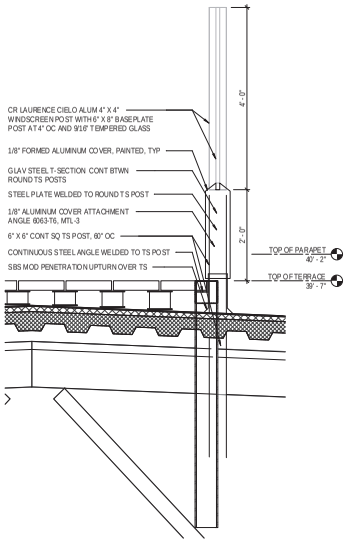
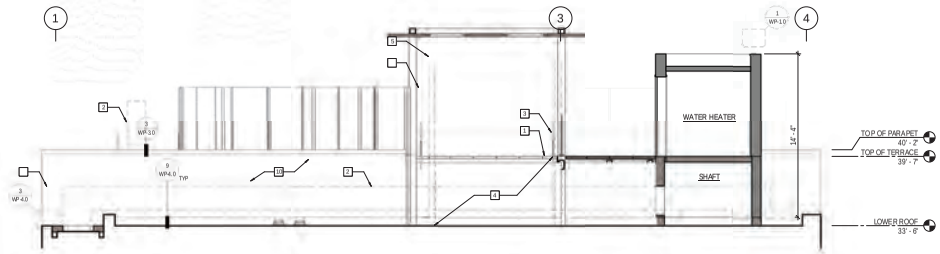
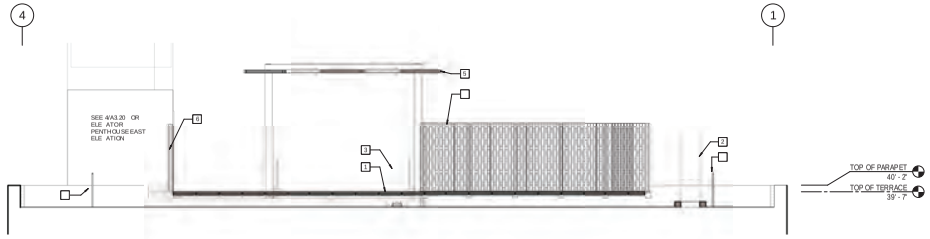


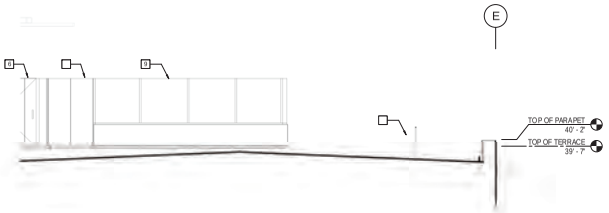

7 WINDSCREEN DETAIL
1" = 1'-0"



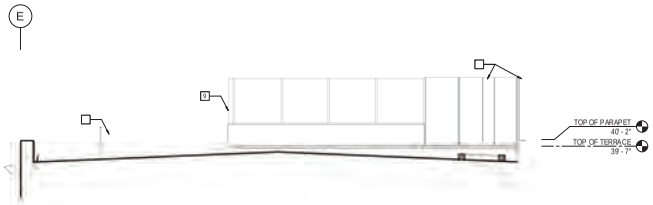

1 WEST ELEVATION OF HISTORIC BUILDING FROM LOWER ROOF
1/4" = 1'-0"



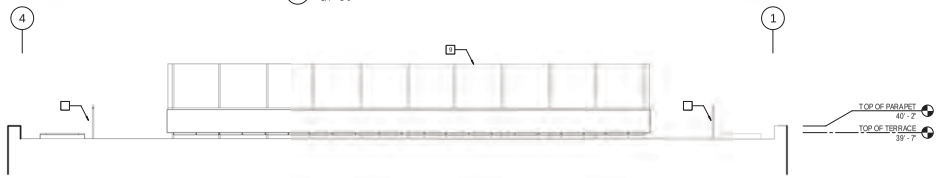

2 ROOF TERRACE LOOKING WEST IEW FROM ROOF TERRACE
1/4" = 1'-0"




5 WINDSCREEN - SOUTH ELEVATION
1/4" = 1'-0"




3 WINDSCREEN - NORTH ELEVATION
1/4" = 1'-0"




4 WINDSCREEN - EAST ELEVATION VIEW FROM POWELL STREET
1/4" = 1'-0"

## SHEET NOTES

## KEY NOTES

1 (N) PAVER PEDESTAL SYSTEM
2 (N) MECH DUCT, SMD
3 (N) HANDRAIL
4 (N) STEEL STAIR BEHIND
5 (N) OPEN STEEL TRELLIS WITH NO COVERING ABOVE
6 (N) GATE
7 (N) FENCE
8 (N) 42" GUARDRAIL WITH INTERMEDIATE HORIZONTAL RAIL, 21" SPHERE CANNOT PASS
9 (N) WINDSCREEN
10 PAINT (E) SHOTCRETE WALL CORNER TO CORNER

## LEGEND

EXISTING BRICK MASONRY
REPAINT (E) CONC
(N) EIFS SYSTEM ON (E) STUDS, SEE #/WP 2.0
(N) EIFS SYSTEM OVER CLEANED (E) EIFS, SEE 2/WP 2.0
(N) DRAINABLE EIFS SYSTEM, SEE 2/WP 2.2

Original Sheet Size: 30" x 42"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Drawing Title

ROOF EXTERIOR ELEVATIONS

Sheet No. A 3.21

Scale: As indicated


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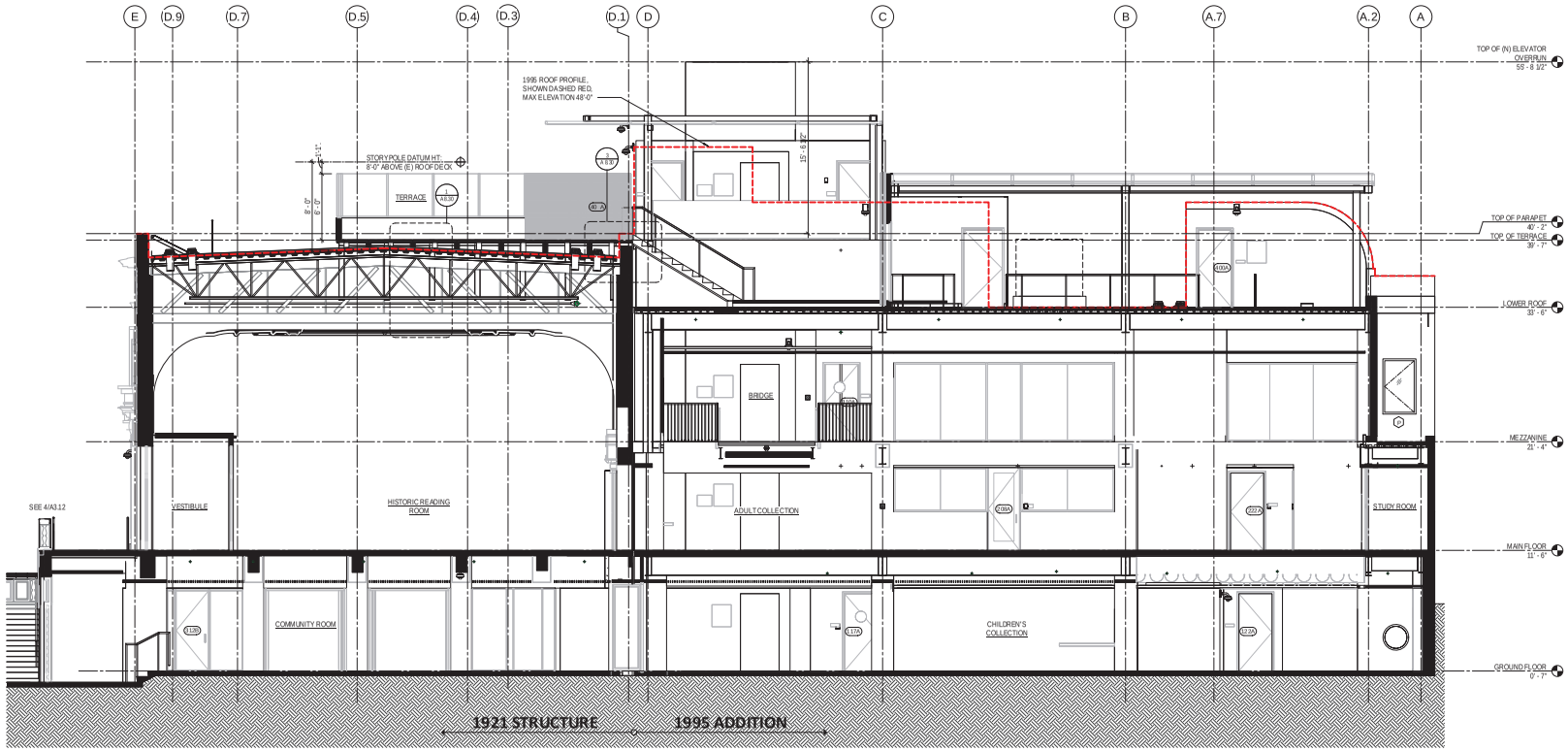
Contents: Sheet Set
Layout: A3.21 - ROOF EXTERIOR ELEVATIONS




1 BUILDING SECTION (LOOKING SOUTH)
1/4" = 1'-0"

| SHEET NOTES | KEY NOTES | LEGEND |
|---|---|---|
| | | |

Original Sheet Size: 30" x 42"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Drawing Title

BUILDING SECTIONS

Sheet No. A 3.31

Scale 1/4" = 1'-0"


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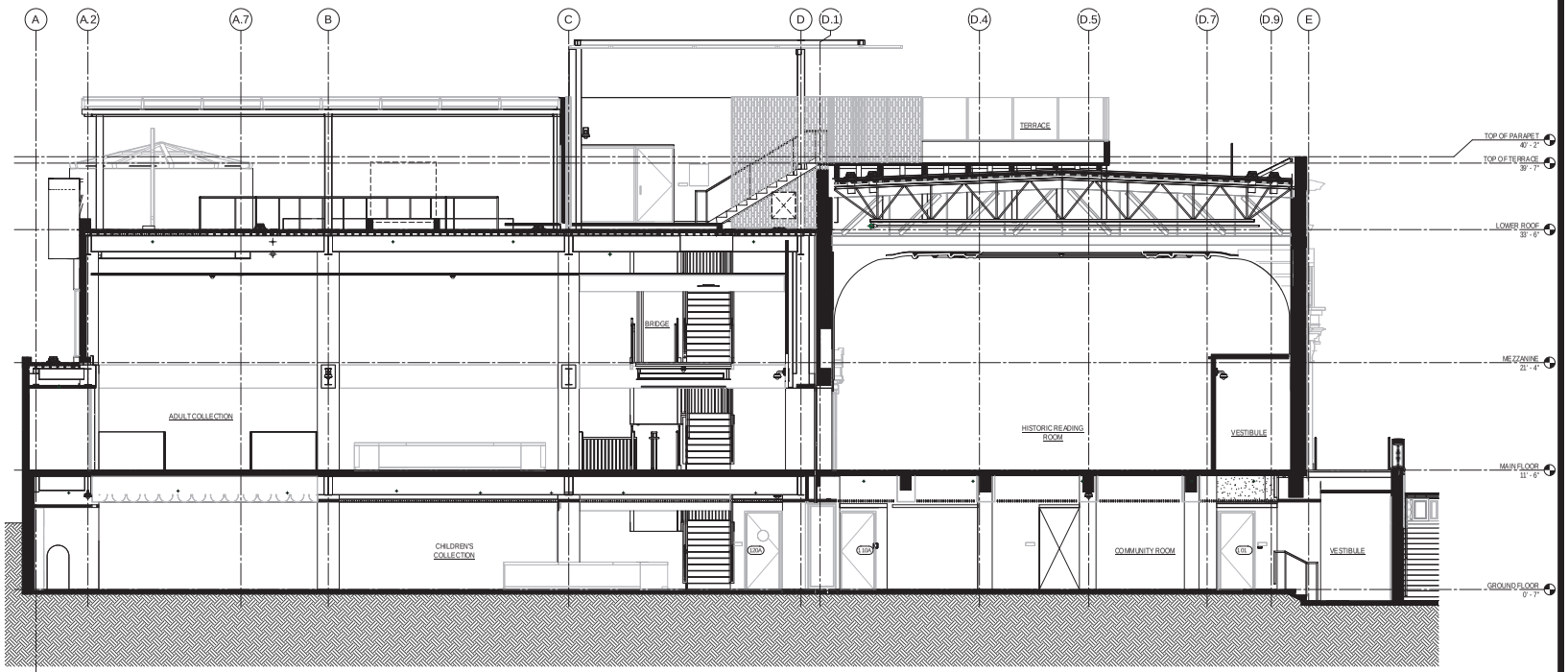


1 BUILDING SECTION (LOOKING NORTH)
1/4" = 1'-0"

| SHEET NOTES | KEY NOTES | LEGEND |
|---|---|---|
| | | |

Original Sheet Size: 30" x 42"

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Drawing Title

BUILDING SECTIONS

Sheet No. A 3.32

Scale 1/4" = 1'-0"

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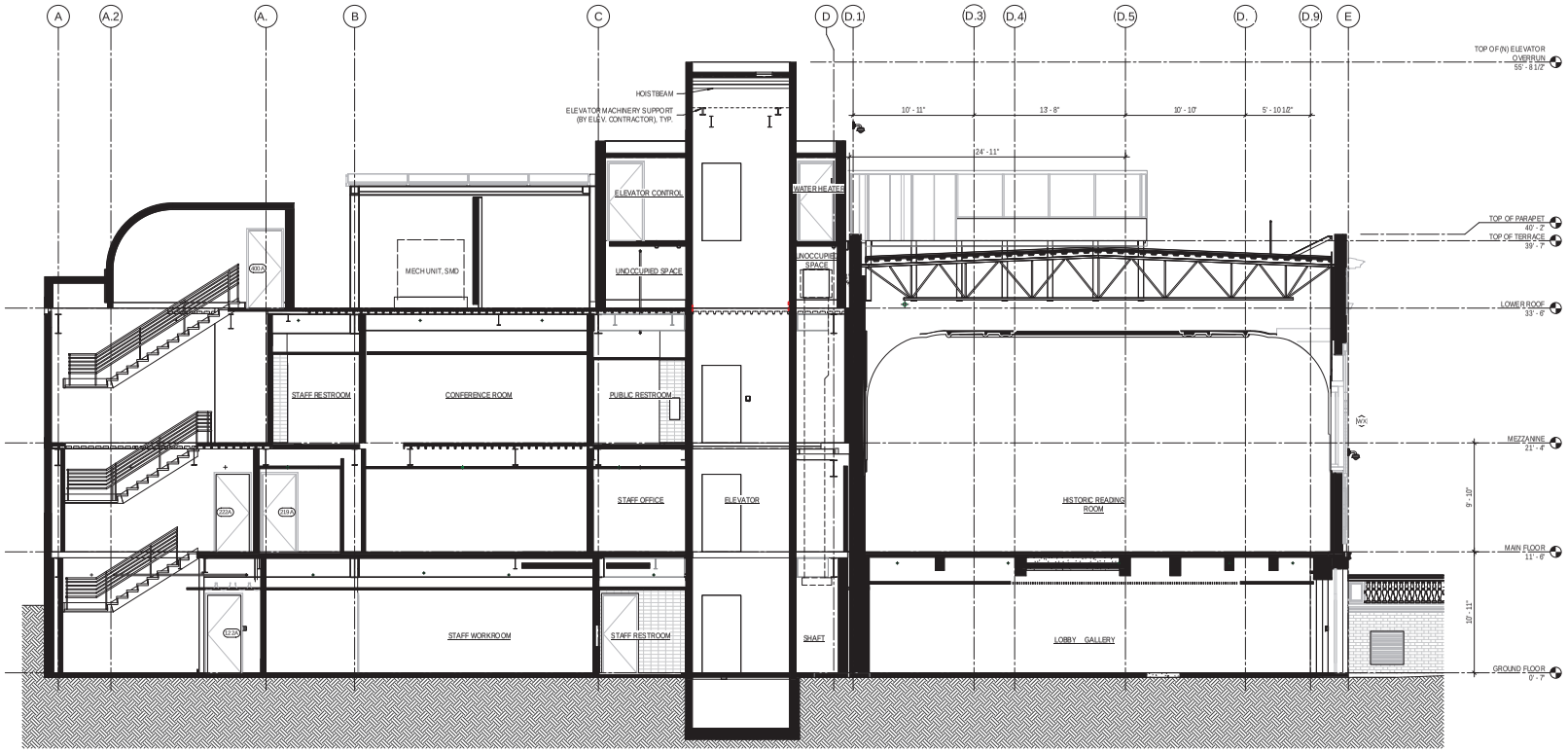


1 BUILDING SECTION
1/4" = 1'-0"

| SHEET NOTES | KEY NOTES | LEGEND |
|---|---|---|
| | | |

Original Sheet Size: 30" x 42"

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Drawing Title

BUILDING SECTIONS

Sheet No. A 3.33

Scale 1/4" = 1'-0"

Date/Time: 2024-01-12 10:19:00
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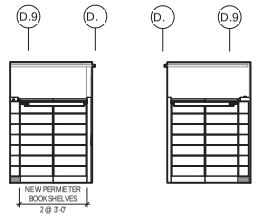
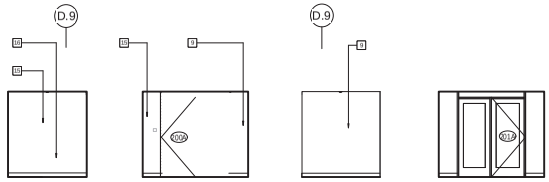



5 SOUTH 6 NORTH

VESTIBULE FROM HISTORIC READING - 201

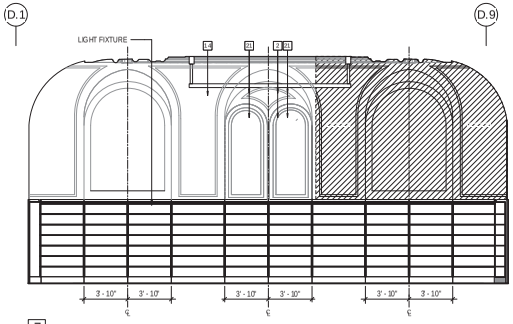
1/4" = 1'-0"



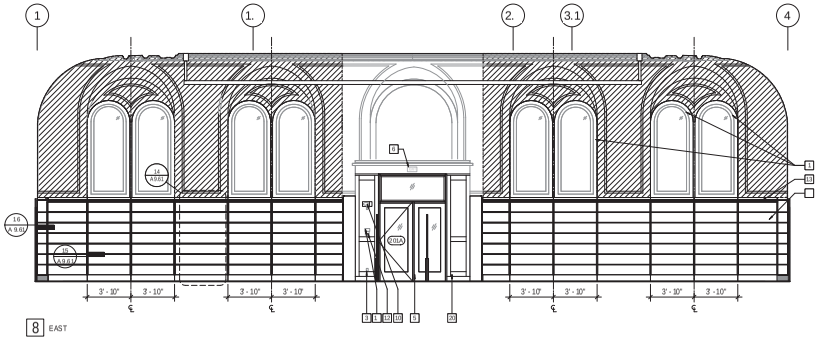

1 NORTH 2 EAST 3 SOUTH 4 WEST

VESTIBULE - 200.

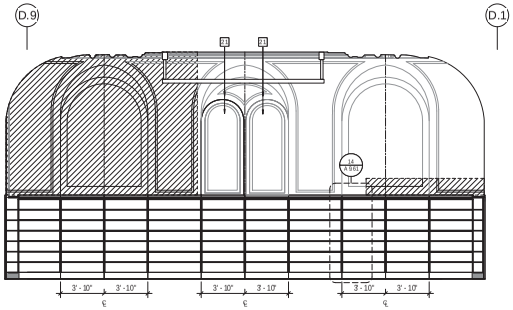
1/4" = 1'-0"




7 NORTH



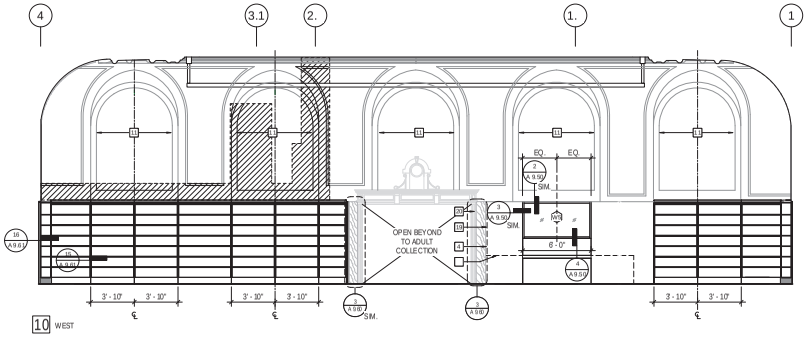

8 EAST




9 SOUTH

HISTORIC READING ROOM - 201

1/4" = 1'-0"




10 WEST

## SHEET NOTES

1. SEE G SHEETS FOR ACCESSIBILITY INFORMATION AND TOILET ACCESSORIES MOUNTING HEIGHTS.
2. CONTRACTOR TO PROVIDE NECESSARY BACKING PLATES AND OTHER SUPPORTS, WHETHER SPECIFICALLY INDICATED OR NOT, FOR EQUIPMENT, SHELVING AND CASEWORK.
3. SEE REFLECTED CEILING PLANS FOR TYPICAL CEILING AND SOFFIT HEIGHTS, UON.
4. REFER TO DRAWING A10.11 FINISH SCHEDULE AND MATERIAL LEGEND FOR FINISHES ALL MATERIALS IN THE MAIN READING ROOM ARE PART OF THE LANDMARKED HISTORIC FABRIC AND MUST BE PROTECTED DURING CONSTRUCTION.
5. ALL PLASTER SURFACES OF HISTORIC READING ROOM 201 ARE TO RECEIVE SPECIAL PAINT COLORS AS DIRECTED BY THE ARCHITECT. TWO COLORS SHOULD BE ANTICIPATED, A FIELD COLOR AND AN ACCENT COLOR.
6. EXISTING FIXTURES THAT ARE REMOVED DURING CONSTRUCTION THAT ARE NOT BE REINSTALLED SHOULD BE SALVAGED. COORDINATE SALVAGED ITEMS WITH ARCHITECT.
7. ALL EXISTING WOOD SHELVING IS TO BE REPAIRED AND REFINISHED, REMOVE AND REINSTALL AS NECESSARY. WHERE NEW SHELVING IS INDICATED, IT SHOULD MATCH THE EXISTING ADJACENT HISTORIC SHELVING.
8. ALL EXISTING WOOD TRIM, CARPENTRY, WINDOWS, SASH, AND DECORATIVE FEATURES ARE TO BE REPAIRED AND REFINISHED. REMOVE AND REINSTALL AS NECESSARY FOR RESTORATION.
9. SEE PROJECT MANUAL FOR SPECIFICATIONS REGARDING REPAIR TO HISTORIC MATERIALS INCLUDING WOODWORK, PLASTER, BRICK, TERRA COTTA, AND HISTORIC WINDOWS.
10. AT THE "HISTORIC ROOM 201" ALL THE EXISTING BOOKSHELVES WILL BE REMOVED AND REPLACED WITH NEW BOOKSHELVES WITH "HISTORIC DESIGN" THAT INTENTS TO REPLICATE THE BOOKSHELVES CURRENTLY INSTALLED AT THE PRESIDIO LIBRARY. VERIFY IN FIELD THE DESIGN AT PRESIDIO LIBRARY AND SEE A9.61
11. VERIFY IN FIELD THE DIMENSIONS AT CHINATOWN LIBRARY. COORDINATE WITH ARCHITECT IF THE BOOKSHELVES TO BE DEMOLISHED WILL BE RETURNED TO THE CLIENT.
12. REFER TO R8.01 & A9.50 FOR WORK AT HISTORIC ARCHED WINDOWS

## KEY NOTES

1 REINSTALL REPAIRED WINDOW TRIM WHERE REMOVED FROM STRUCTURAL WORK
2 EXISTING WD MOLDING. SEE SHEET NOTES
3 PHONE OUTLET
4 FIRE EXTINGUISHER CABINET. SEE 16/A 9.11
5 SECURITY GATE EQUIPMENT
6 ILLUMINATED EXIT SIGN
7 PERIMETER BOOKSHELVES, TYP
8 FURNITURE, SHOWN DASHED FOR REFERENCE.
9 FATC
10 FA ANUNCIATOR
11 OFCI REMOVABLE FLAT PANEL ARTWORKS, SEE DETAILS
11 SF ARTS COMMISSION REMOVABLE PAINTING INSTALLATION IN ARCH NICHE, NIC
12 PULL FIRE ALARM
13 BOOKSHELF LIGHT FIXTURE, TYP, SED
14 LIGHT FIXTURE, SED
15 ELECTRICAL FAAP
16 ELECTRICAL DEVICE, SED
17 ELECTRICAL SWITCHES, SED
18 AUDIO VISUAL EQUIPMENT, SPEAKERS, SEE AV DRAWINGS
19 AUDIO VISUAL EQUIPMENT, TV, SEE AV DRAWINGS
20 REFINISH AND PROTECT EXISTING WOOD PARTITION
21 MIRROR AT (E) WINDOW CEMENT PLASTER INFILL

## LEGEND

NEW ORNAMENTAL PLASTER
REPLACE ADJACENT FINISH (WOOD TRIM OR ORNAMENTAL PLASTER)

Original Sheet Size: 30" x 42"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Drawing Title

INTERIOR ELEVATIONS - MAIN FLOOR

Sheet No. A 5.13

Scale 1/4" = 1'-0"


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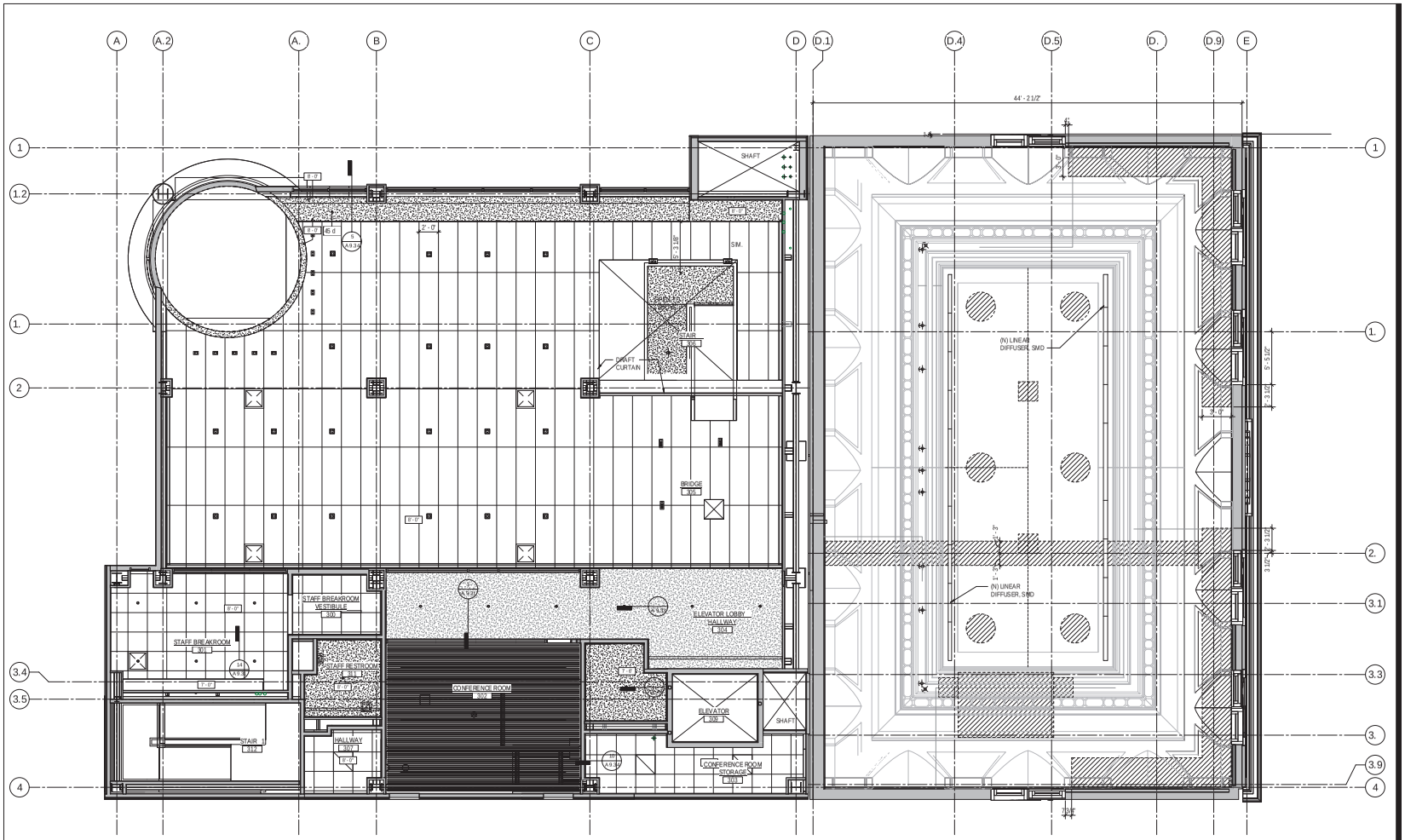


19 MEZZANINE REFLECTED CEILING PLAN
1/4" = 1'-0"

## SHEET NOTES

1. ENTIRETY OF EXISTING HISTORIC PLASTER CEILING AND WALL FINISHED TO BE CLEANED, PATCHED, REPAIRED, AND PAINTED.
2. PATCH AND REPAIR EXISTING HISTORICAL PLASTER CEILING TO MATCH EXISTING ADJACENT PLASTER. SEE RESTORATION DRAWINGS.
3. SEE DRAWING X.XX FOR TYPICAL SUSPENDED AND GYPSUM BOARD CEILING ASSEMBLIES.
4. SPRINKLER HEAD LAYOUT SHOULD BE CONFIRMED BY CONTRACTORS FIRE SPRINKLER DESIGNER AND SPRINKLER HEAD LAYOUT SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL.
5. SPRINKLER HEAD LOCATIONS ARE SUGGESTED. FINAL LOCATIONS TO BE COORDINATED WITH OTHER CEILING MOUNTED EQUIPMENT.

## KEY NOTES

## LEGEND

- EXPOSED STRUCTURE ABOVE
- GYPBOARD FURRING - PAINTED
- GYPBOARD CEILING - PAINTED
- SUSPENDED LINEAR WOOD CEILING
- SUSPENDED ACOUSTICAL PANEL CEILING
- NEW ORNAMENTAL PLASTER
- SLOTTED DIFFUSER
- SUPPLY
- RETURN
- DOWN LIGHT
- CEILING MOUNTED SPEAKER
- SPRINKLER HEADS
- SPRINKLER HEADS

Original Sheet Size: 30" x 42"


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MEZZANINE REFLECTED CEILING PLAN

Sheet No.

A 6.13

Scale As indicated


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# EXTERIOR WINDOW SCHEDULE

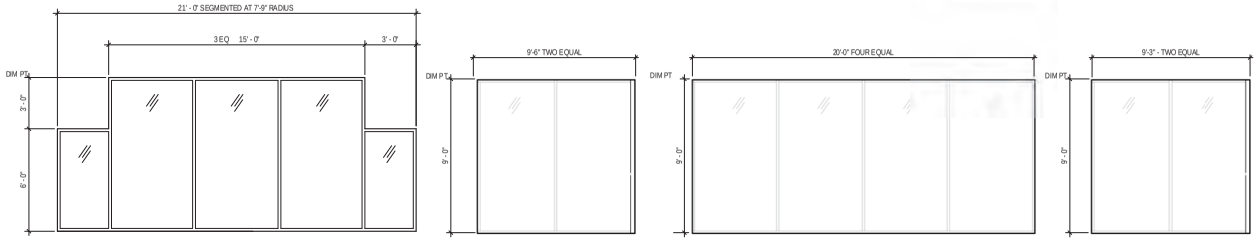
| OPENING ID | ROOM | LEVEL | DIRECTION | OPENING Width | OPENING Height | OPENING Glazing | OPENING Rating | FRAME Material | FRAME Finish | DETAILS Head | DETAILS Jamb | DETAILS Sill | REMARKS |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| | | | | | | | | | | | | | |
| K1 | TEEN 205 | MAIN FLR CLERESTORY | NORTH TO WEST | 20'-5" | 6'-2 3/2" | GE-1 | 60 MINUTE | STEEL | PT | ABB | ABB | ABB | OBLIQUE: SEMICIRCULAR - BARRIER EIFS |
| K2 | TEEN 205 | MAIN FLR CLERESTORY | NORTH | 7'-8 | 9'-0" | GE-1 | 60 MINUTE | STEEL | PT | ABB | ABB | ABB | BARRIER EIFS |
| K3 | ADULT COLLEC. | MAIN FLR CLERESTORY | NORTH | 20'-0" | 9'-0" | GE-1 | 60 MINUTE | STEEL | PT | ABB | ABB | ABB | BARRIER EIFS |
| K4 | ADULT COLLEC. | MAIN FLR CLERESTORY | NORTH | 9'-3 | 9'-0" | GE-1 | 60 MINUTE | STEEL | PT | ABB | ABB | ABB | BARRIER EIFS |
| L1 | EXTERIOR STAIR | GROUND FLR | SEE PLANS | 3'-0" | 3'-0" | LOUVER | 3/4 HOUR | STEEL | PT | ABB | ABB | ABB | (N) FIXED LOUVER IN (E) OPENING |
| L2 | ELEVATOR HOISTWAY | ELEVATOR PENTHOUSE | WEST | CS | CS | LOUVER | NONE | STEEL | PT | CS | CS | CS | SMD FOR DAMPER (CS) |
| M | CONFERENCE 302 | MEZZANINE | SOUTH | 3'-1" | 4'-8" | GE-2 | 120 MINUTE | STEEL | PT | ABB | ABB | ABB | FIXED - DRAINABLE EIFS |
| N | COMMUNITY ROOM | GROUND FLR | EAST | 4'-4" | 3'-10" | GE-0 | NONE | WOOD | PT | CS | CS | CS | FIXED WINDOW ON EXISTING OPENING, HISTORIC, W/ INTEGRAL OGEE LUGS |
| P | BREAKROOM 301 | MEZZANINE | NORTH | 3'-1" | 4'-8" | GE-1 | 60 MINUTE | STEEL | PT | ABB | ABB | ABB | CASEMENT, OPER. W/ KEY BY MAINTANENCE STAFF ONLY; BARRIER EIFS |
| S1 | TEEN 205 | LOWER ROOF | SKYLIGHT | 17' DIAM | 2'-6" | GE-3 | NONE | ALUM | ANOD | ABB | ABB | ABB | |
| S2 | STAIR #2 #01 | STAIR PENTHOUSE | SKYLIGHT | 10'-0" | 4'-0" | GE-4 | NONE | ALUM | ANOD | ABB | ABB | ABB | |

GENERAL NOTES
ALL OPENINGS SHALL BE VERIFIED IN FELD PRIOR PREPARATIONOF SHOP DRAWINGS AND INSTALLATION.

ANOD ANODIZED
PT PAINTED

# GLAZING SCHEDULE

| GLAZING TYPE | DESCRIPTION | FIRE RATING | U-VALUE | SHGC | VT | BASIS OF DESIGN SYSTEM DESCRIPTION: OUTER LIGHT | AIRSPACE | INNER LIGHT | THICKNESS | OPENING PROTECTIONS LABEL [CBC 716] | REMARKS |
|---|---|---|---|---|---|---|---|---|---|---|---|
| | | | | | | | | | | | |
| GL-1 | CLEAR TEMPERED | NONE | N/A | N/A | N/A | RR | RR | RR | RR | - | |
| GL-2 | TRANSLUCENT | NONE | N/A | N/A | N/A | RR | RR | RR | RR | - | |
| GL-3 | TRANSPARENT W/ IMAGE | NONE | N/A | N/A | N/A | RR | RR | RR | RR | - | |
| GL-4 | LITE AT DOOR | 20 MINUTE | N/A | N/A | N/A | RR | RR | RR | RR | TABLE 716.1(3): FB -- W-XXX | |
| GL-5 | SAFTY GLAZING | NONE | N/A | N/A | N/A | RR | RR | RR | RR | - | |
| GE-0 | EXTERIOR | NONE | ABB | ABB | ABB | ABB | ABB | ABB | ABB | NONE | |
| GE-1 | EXTERIOR | 60 MINUTE | ABB | ABB | ABB | ABB | ABB | ABB | ABB | TABLE 716.1(1): W-60 [ASTM E119 ] | |
| GE-2 | EXTERIOR | 120 MINUTE | ABB | ABB | ABB | ABB | ABB | ABB | ABB | TABLE 716.1(1): W-120 [ASTM E119 ] | |
| GE-3 | TRANSLUCENT PLASTIC SKYLIGHT | NONE | ABB | ABB | ABB | ABB | ABB | ABB | ABB | - | INTERNAL ALUM FRAME |

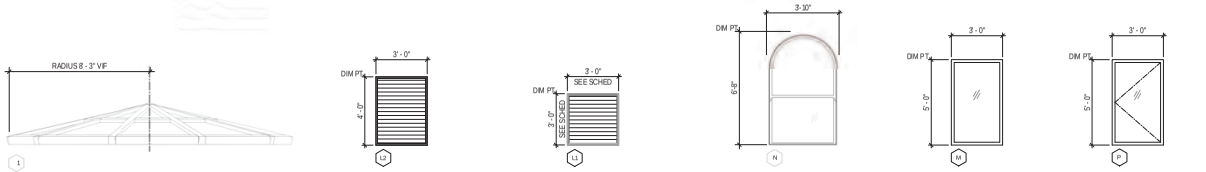



1 MEZANNINE
FRAME MAT'L: AL
FRAME RATING: N/A
GLASS TYPE: E-1
OPERATION: FIXED
LOCATION: CLERESTORY
(N) WINDOW IN (E) OPENING

2
FRAME MAT'L: STEEL
FRAME RATING: 1 HOUR
GLASS TYPE: E-1
OPERATION: FIXED
LOCATION1: CLERESTORY
(N) WINDOW IN (E) OPENING

3
FRAME MAT'L: STEEL
FRAME RATING: 1 HOUR
GLASS TYPE: E-1
OPERATION: FIXED
LOCATION: CLERESTORY
(N) WINDOW IN (E) OPENING

4
FRAME MAT'L: STEEL
FRAME RATING: 1 HOUR
GLASS TYPE: E-1
OPERATION: FIXED
LOCATION: CLERESTORY
(N) WINDOW IN (E) OPENING




1
FRAME MAT'L: ALUM
FRAME RATING: N/A
GLASS TYPE: PLASTIC
OPERATION: FIXED
LOCATION: TEEN
(N) SKYLIGHT IN (E) OPENING

L2
FRAME MAT'L: GALV STL
FRAME RATING: N/A
GLASS TYPE: N/A
OPERATION: N/A
LOCATION: EXTERIOR STAIR
(N) LOUVER IN (N) OPENING

L1
FRAME MAT'L: GALV STL
FRAME RATING: N/A
GLASS TYPE: N/A
OPERATION: N/A
LOCATION: EXTERIOR STAIR
(N) LOUVER IN (N) OPENING

N
FRAME MAT'L: WOOD
FRAME RATING: N/A
GLASS TYPE: E-0
OPERATION: FIXED
LOCATION: GROUND FLOOR
(N) WINDOW IN (E) OPENING

M
FRAME MAT'L: STEEL
FRAME RATING: 2 HOUR
GLASS TYPE: E-2
OPERATION: FIXED
LOCATION: MEZZANINE
(N) WINDOW IN (E) OPENING

P
FRAME MAT'L: STEEL
FRAME RATING: 1 HOUR
GLASS TYPE: E-1
OPERATION: CASEMENT
LOCATION: MEZZANINE
(N) OPENING IN (N) OPENING

## GENERAL NOTES

1. VERIFY ALL OPENING SIZES PRIOR TO FABRICATION VS VERIFY IN FIELD ALL WINDOW ROUGH OPENING SIZES. NOTIFY THE ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES BETWEEN FIELD DIMENSIONS AND THE INFORMATION ON THE SCHEDULES.
2. ALL OPERABLE WINDOWS TO HAVE SCREENS
3. CURTAINWALL DIMENSIONING INCLUDES 1/2" SEALANT JOINT TO WALL WHERE APPLICABLE, TYPICAL.
4. SEE CURTAINWALL DETAILS FOR FACE CAP DEPTHS.
5. PROJECT-IN WINDOWS TO BE LIMITED TO 4" PAST FACE OF WALL WHEN WALKING SURFACE IS ADJACENT TO WINDOW.
6. DOOR AND WINDOW TYPES SHOWN ON THESE DRAWINGS ARE SCHEMATIC ONLY. FOR MORE DETAILED INFORMATION, SEE MANUFACTURER'S DETAILS FOR THE SERIES AND CONDITIONS SPECIFIED.
7. ALL WINDOWS WHOSE NEAREST VERTICAL EDGE IS WITHIN 24" FROM A DOOR IN THE CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR SHALL BE TEMPERED. ANY GLAZING AREA IN EXCESS OF 9 SQUARE FEET, WHERE THE LOWEST EDGE OF GLAZING MATERIAL IS LESS THAN 18" ABOVE THE FLOOR SHALL BE TEMPERED.
8. PROVIDE ALL NECESSARY BLOCKING AND BACKING.
9. IF THERE ARE ANY ERRORS, DISCREPANCIES, OMISSIONS, OR INCONSISTENCIES BETWEEN THE PROJECT SPECIFICATIONS AND THE CONSTRUCTION DRAWINGS NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION OR INTERPRETATION.
10. VERIFY IN FIELD ALL WINDOW ROUGH OPENING SIZES. NOTIFY THE ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES BETWEEN FIELD DIMENSIONS AND THE INFORMATION ON THE SCHEDULES.

WINDOW FILM:1. FILM SHALL BE INSTALLED ON INSIDE OF DUAL GLAZED WINDOW SYSTEMS PRIOR TO DELIVERY AT PROJECT SITE. WHERE ONLY A SINGLE PANE IS SCHEDULED, THE FILM IS TO BE APPLIED ON SIDE OF FILM FACING THE PRIVATE SPACE SIDE OF GLAZING. REFER TO A5.7-0 AND A5.7-1 AND INTERIOR ELEVATION SHEETS FOR ADDITIONAL INFORMATION.

## KEY NOTES

## LEGEND

| | |
|---|---|
| AL | ALUMINUM |
| BRZ | BRONZE |
| GL | GLAZING |
| | GL-E0 |
| | GL-E1 |
| | GL-E2 |
| | GL-E3 |
| HM | HOLLOW METAL |
| N | NO |
| PT | PAINTED |
| R | FIRE RATED SAFETY GLAZING |
| T | SAFETY GLASS TEMPER GLASS, TEMPER OR LAMINATED. |

Original Sheet Size: 30" x 42"


BUREAU OF ARCHITECTURE
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EXTERIOR WINDOW TYPE WINDOW SCHEDULE

Sheet No.
A 8.40
Scale 3/8" = 1'-0"


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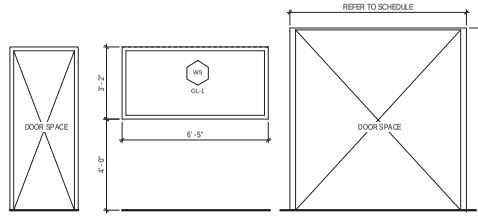
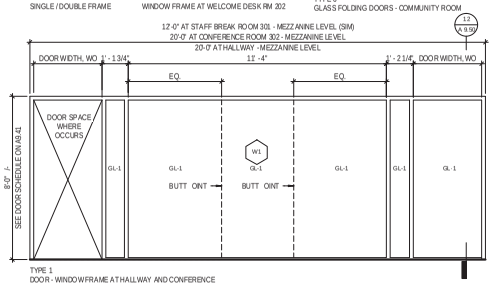


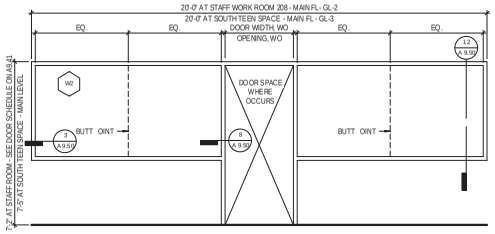

TYPE 0
SINGLE / DOUBLE FRAME

TYPE 5
WINDOW FRAME AT WELCOME DESK RM 302

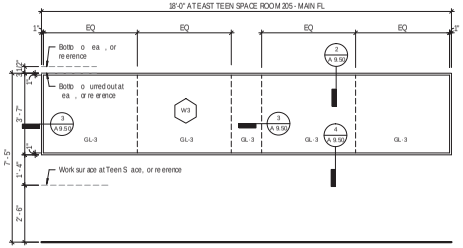
TYPE 6
GLASS FOLDING DOORS - COMMUNITY ROOM



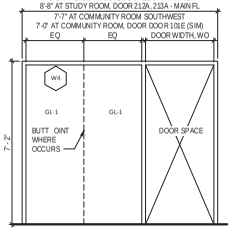

TYPE 1
DOOR - WINDOW FRAME AT HALLWAY AND CONFERENCE




TYPE 2
DOOR - WINDOW FRAME AT STAFF WORK ROOM




TYPE 3
WINDOW FRAME AT TEEN SPACE




TYPE 4
DOOR - GLASS WALL FRAME

NTER OR OPEN N CHEDULE
1/2" 1'-0"

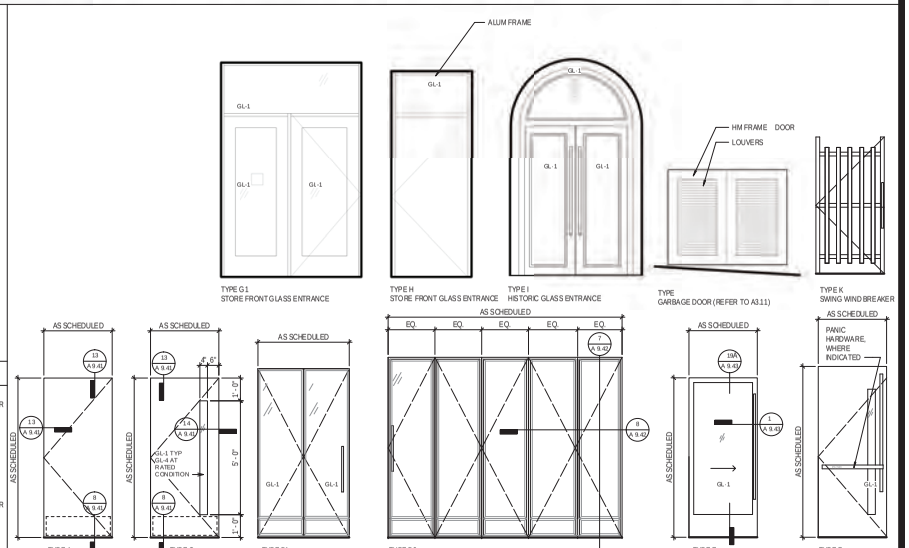
| ROOM | | DOOR | | | | | | | FRAME 7* | | | DETAILS | | | | | REMARKS |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| No. | Room | Size (W x H) | Thickness | Pair | Type | Material | Finish | Rating 3* | Type | Material | Finish | Head | Jamb | Sill | Hardware | Security | |
| GROUND FLOOR | | | | | | | | | | | | | | | | | |
| 100A | VESTIBULE | 2'-7" X 7'-0" | 1-3/4" | Y | I | GL / WD | – | – | 6 | WD | – | | | 1/A9.41 | 04 | | CI, PH, AO,& HISTORIC PULLS |
| 101A | COMMUNITY ROOM | 3'-0" X 7'-0" | 1-3/4" | N | C | GL / HM | PT | – | 0 | HM | PT | | | 8F/A9.41 | 105 | | CI, PH |
| 101B | COMMUNITY ROOM | 10'-4" X 8'-0" | 1-3/4" | N | D2 | GL / AL | – | – | 6 | AL | – | 7/A9.42 | 8/A9.42 | 7/A9.42, 8F/A9.41 | 102 | | HISTORIC PULL |
| 101C | COMMUNITY ROOM | 7'-9" X 7'-6" | 1-3/4" | N | D1 | GL / AL | – | – | 6 | AL | – | 19/A9.42 | 20/A9.42 | 19/A9.42, 8F/A9.41 | 103 | | HISTORIC PULL |
| 101D | COMMUNITY ROOM | 7'-9" X 7'-6" | 1-3/4" | N | D1 | GL / AL | – | – | 6 | AL | – | 19/A9.42 | 20/A9.42 | 19/A9.42, 8F/A9.41 | 103 | | |
| 101E | COMMUNITY ROOM | 3'-0" X 7'-4" | 1-3/4" | N | F | GL / AL | – | – | 4 | AL | – | 6/A9.44 | 14/A9.44 | 6/A9.44 | 104 | Y | CI, PH, AO, CLOSER, GSL, HISTORIC PULLS, 4* |
| 101F | COMMUNITY ROOM | 3'-0" X 7'-0" | 1-3/4" | N | A | HM | PT | – | 0 | HM | PT | | | 8B/A9.43 | 106 | | CI, PH |
| 102A | LOBBY & GALLERY | 3'-0" X 7'-0" | 1-3/4" | N | GE | GL / AL | – | – | 0 | WD | | 9/A9.41 | 12, 20/A9.41 | 11/A9.41 | 02 | Y | CI, PH, CLOSER, AO, GSL, HISTORIC PULLS, 4*, 5* |
| 102B | LOBBY & GALLERY | 4'-0" X 7'-0" | 1-3/4" | N | A | HM | – | – | 0 | HM | – | BUTT FRAME | | 8F/A9.41 | 122 | | PH, HISTORIC PULLS, NO LATCH, NO CLOSER, 1* (SLIDER?) |
| 103A | LOBBY & GALLERY | 5'-0" X 7'-0" | 1-3/4" | N | A | HM | PT | 20 MIN | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8F/A9.41 | 108 | Y | PH, CLOSER, CR |
| 108A | STAFF OFFICE | 3'-0" X 7'-0" | 1-3/4" | N | C | GL / SCWD | PT | – | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8F/A9.41 | 116 | Y | CI |
| 110A | COMMUNITY ROOM STORAGE | 3'-0" X 7'-0" | 1-3/4" | N | A | HM | PT | – | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8F/A9.41 | 113 | Y | CI |
| 111A | ELECTRICAL ROOM | 3'-0" X 7'-0" | 1-3/4" | N | A | HM | PT | – | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8A/A9.41 | 112 | Y | PH, CR |
| 113A | MDF | 3'-0" X 7'-0" | 1-3/4" | N | A | HM | PT | – | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8A/A9.41 | 118 | Y | CI |
| 114A | CUSTODIAN | 3'-0" X 7'-0" | 1-3/4" | N | A | HM | PT | – | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8E/A9.41 | 117 | Y | CI |
| 115A | HALLWAY | 3'-0" X 7'-0" | 1-3/4" | N | H | AL | – | – | 0 | AL | – | 5/A9.45 | /A9.45 | 4/A9.45 | 03 | Y | CI, HISTORIC PULLS, 2* |
| 116A | PUBLIC RESTROOM | 3'-0" X 7'-0" | 1-3/4" | N | A | SCWD | PT | – | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8D/A9.41 | 120 | | |
| 117A | STAFF RESTROOM | 3'-0" X 7'-0" | 1-3/4" | N | A | SCWD | PT | – | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8D/A9.41 | 119 | Y | CI |
| 119A | FAMILY RESTROOM | 3'-0" X 7'-0" | 1-3/4" | N | A | SCWD | PT | – | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8D/A9.41 | 120 | | |
| 120A | PUBLIC RESTROOM | 3'-0" X 7'-0" | 1-3/4" | N | A | SCWD | PT | – | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8D/A9.41 | 120 | | |
| 122A | STAIR #1 | 3'-0" X 7'-0" | 1-3/4" | N | A | HM | PT | 20 MIN | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8B/A9.41 | 107 | Y | CI, PH, CLOSER |
| 123A | GARBAGE ROOM | 5'-3" X 4'-10" | 1-3/4" | N | J | HM | PT | | 0 | HM | PT | | | | | | SEE DET. 2/A3.11 FOR EXTERIOR UTILITY STORAGE |
| | | | | | | | | | | | | | | | | | |
| MAIN FLOOR | | | | | | | | | | | | | | | | | |
| 200A | VESTIBULE | 3'-0" X 7'-0" | 1-3/4" | N | GE | GL / WD | PT | – | 0 | WD | – | | | | 01 | | PH |
| 201A | HISTORIC READING ROOM | 3'-0" X 7'-0" | 1-3/4" | N | GE | (E) GL / WD | PT | – | 0 | (E) GL / WD | – | – | – | 8F/A9.40 | 101 | | PH, AO, CLOSER, GSL, HISTORIC PULLS |
| 208A | STAFF WORKROOM | 3'-0" X 7'-0" | 1-3/4" | N | C | GL / SCWD | – | – | 2 | AL | – | 13/A9.41 | 13/A9.41 | 8F/A9.41 | 114 | Y | CI, AO |
| 209A | STAFF OFFICE | 3'-0" X 7'-0" | 1-3/4" | N | C | GL / SCWD | PT | – | 0 | WD | PT | 13/A9.41 | 13/A9.41 | 8F/A9.41 | 113 | Y | CI |
| 210A | STAFF WORKROOM STORAGE | 3'-0" X 7'-0" | 1-3/4" | N | A | SCWD | PT | – | 0 | WD | PT | 13/A9.41 | 13/A9.41 | 8F/A9.41 | 123 | | |
| 212A | STUDY ROOM | 3'-0" X 7'-6" | 2-1/2" | N | E | GL / AL | – | – | 4 | AL | – | 19/A9.43 | 16/A9.43 | 8F/A9.41, 19/A9.43 | 121 | | 6* |
| 213A | STUDY ROOM | 3'-0" X 7'-6" | 2-1/2" | N | E | GL / AL | – | – | 4 | AL | | 19/A9.43 | 16/A9.43 | 8F/A9.41, 19/A9.43 | 121 | | 6* |
| 214A | STUDY ROOM | 3'-0" X 7'-6" | 2-1/2" | N | E | GL / AL | – | – | 4 | AL | | 19/A9.43 | 16/A9.43 | 8F/A9.41, 19/A9.43 | 121 | | 6* |
| 217A | STAFF RESTROOM | 3'-0" X 7'-0" | 1-3/4" | N | A | SCWD | PT | – | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8D/A9.41 | 115 | Y | CI |
| 218A | PUBLIC RESTROOM | 3'-0" X 7'-0" | 1-3/4" | N | A | SCWD | PT | – | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8D/A9.41 | 120 | | |
| 219A | PUBLIC RESTROOM | 3'-0" X 7'-0" | 1-3/4" | N | A | SCWD | PT | – | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8D/A9.41 | 120 | | |
| 220A | CUSTODIAN | 3'-0" X 7'-0" | 1-3/4" | N | A | HM | PT | – | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8E/A9.42 | 115 | Y | CI |
| 222A | STAIR #1 | 3'-0" X 7'-0" | 1-3/4" | N | A | HM | PT | 20 MIN | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8B/A9.41 | 107 | | CI, PH, CLOSER |
| | | | | | | | | | | | | | | | | | |
| MEZZANINE | | | | | | | | | | | | | | | | | |
| 300A | STAFF BREAKROOM VESTIBULE | 3'-0" X 7'-0" | 1-3/4" | N | C | GL / SCWD | PT | – | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8F/A9.41 | 114 | Y | CI |
| 302A | CONFERENCE ROOM | 3'-0" X 7'-0" | 1-3/4" | N | F | GL / AL | | – | 1 | AL | | | | 8F/A9.41 | 108 | | NO PANIC HARDWARE, NO CLOSER, CR |
| 303A | CONFERENCE ROOM STORAGE | 3'-0" X 7'-0" | 1-3/4" | N | A | SCWD | PT | – | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8F/A9.41 | 115 | | CI |
| 307A | HALLWAY | 3'-0" X 7'-0" | 1-3/4" | N | C | GL / SCWD | PT | – | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8F/A9.41 | 111 | | PH |
| 310A | PUBLIC RESTROOM | 3'-0" X 7'-0" | 1-3/4" | N | A | SCWD | PT | – | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8D/A9.41 | 120 | Y | CI |
| 311A | STAFF RESTROOM | 3'-0" X 7'-0" | 1-3/4" | N | A | SCWD | PT | – | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8D/A9.41 | 119 | Y | CI |
| 312A | STAIR #1 | 3'-0" X 7'-0" | 1-3/4" | N | A | HM | PT | 20 MIN | 0 | HM | PT | 13/A9.41 | 13/A9.41 | 8B/A9.41 | 110 | Y | PH, CLOSER, CR |
| | | | | | | | | | | | | | | | | | |
| ROOF | | | | | | | | | | | | | | | | | |
| 400A | STAIR #1 | 3'-0" X 7'-0" | 1-3/4" | N | A | HM | PT | 20 MIN | (E) 0 | (E) HM | PT | (E) | (E) | (E) | 06 | Y | PH, CR |
| 401A | STAIR #2 | 3'-0" X 7'-0" | 1-3/4" | N | A | GL / AL | – | – | 0 | AL | – | | | | 05 | | PH |
| 402A | ROOF DECK | 3'-0" X 7'-0" | 2" | N | K | GALV | PT | | 0 | GALV | PT | | | | 07 | Y | GATE, CR |
| 406A | ROOF DECK | 3'-0" X 6'-0" | 2" | N | K | GALV | – | – | 0 | GALV | – | | | | 08 | | GATE |
| 407A | ELEVATOR CONTROL ROOM | 3'-0" X 7'-0" | 1-3/4" | N | A | HM | PT | 60 MIN | 0 | HM | PT | 13/A9.41 | 13/A9.41 | | 09 | Y | CI |
| 409A | WATER HEATER ROOM | 3'-0" X 7'-0" | 1-3/4" | N | A | HM | PT | 60 MIN | 0 | HM | PT | 13/A9.41 | 13/A9.41 | | 09 | | LOWER LOUVER ON DOOR, 3* |

* NOTES:
1*. TO REMAIN IN OPEN POSITION DURING BUSINESS HOURS
2*. EXIT ONLY, NO DOOR HARDWARE AT THE EXTERIOR.
3*. 20 MIN RATED DOOR INTENDED FOR THE 1 HR FIRE RATED WALL. DOOR FRAME FIRE RATING, EQUAL OR GREATER THAN DOOR FIRE RATING.
4* AUTOMATIC ACTUATOR.
5* BOOK DROP SHUTE
6*. 1/4" MIN. DOOR UNDERCUT
7* FOR FRAME TYPE, SEE INTERIOR DOPENING SCHEDULE IN A9.40

LEGEND
AL - ALUMINUM
AO - VERTICAL AUTO OPERATOR
BRZ - BRONZE
CR - CARD READER, PROVIDE POWER. SEE SECURITY DWGS.
HM - HALLOW METAL
N - NO
PH - PANIC HARDWARE
PT - PAINTED
Y - YES
GL - GLASS SIDE LITE WALL
G-1 NON RATED CLEAR TEMPER
G-2 NON RATED TRANSLUSCENT
G-3 NON RATED TRANSPARENT W/ IMAGE
G-4 20 MIN. RATED D-20-LITE AT DOOR

## GENERAL NOTES

1. SEE SPECS FOR HARDWARE GROUPS, SECTION 08 71 00 DOOR HARDWARE.
2. SEE SPECS FOR DOOR CLOSER LOCATION REQUIREMENTS.
   A. AD UST CLOSERS FOR MIN SWEEP PERIOD OF 5 SECONDS PER CBC 11B-404.2.8.1.
   B. COMPLY WITH CBC 10.0.1.4.2 AND 11B-404.2.9 FOR MAX ALLOWABLE DOOR OPENING FORCE AS FOLLOWS:
   a. EXTERIOR: 5 LBS
   . INTERIOR: 5 LBS
   c. FIRE RATED ASSEMBLIES: 15 LBS.
   d. DOORS WITH LOW ENERGY POWERED OPERATORS SHALL COMPLY W/ BHMA 156.19.
   e. FIELD VERIFY AND TEST OPERATING FORCE AT ALL DOORS AFTER HVAC SYSTEM HAS BEEN BALANCED.
3. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE.
4. PROVIDE 10" SMOOTH BOTTOM RAIL ON THE PUSH SIDE OF ALL SWING DOORS PER CBC 11B-404.2.10.
5. COMPLY WITH UTILITY REQUIREMENTS FOR DOOR HARDWARE LOCATIONS AT ALL UTILITY ROOMS.
6. COORDINATE OWNER'S SECURITY REQUIREMENTS FOR ALL DOORS. SEE SPECS.
7. SEE DOOR SCHEDULE AND SPECS FOR DOOR GLAZING ASSEMBLY LABEL REQUIREMENTS.
   A. FIRE RATED DOORS SHALL COMPLY WITH CBC 716.5 FOR:
   a. SMOKE DRAFT CONTROL DOOR REQUIREMENTS (716.6.3.1)
   . TEMPERATURE RISE RATING WHERE REQUIRED (716.5.5)
   c. LABELING REQUIREMENTS (716.5.7)
   d. GLAZING (716.5.8).
   e. LATCHING AND AUTOMATIC CLOSING (716.5.9).
8. PROVIDE DOOR GLAZING AS FOLLOWS:
   a. GLAZING MUST BE TEMPERED OR LAMINATED SAFETY GLASS. WIRE GLASS NOT ALLOWED.
   . PROVIDE FIRE RATED GLASS AT FIRE RATED DOORS, WO.
   c. BOTTOM OF VISION LITES TO BE MAX 43" AFF.
9. VIF COORDINATE PARTITION TYPES, ROUGH OPENINGS OF DOOR ASSEMBLIES DOOR FRAME THROAT DIMENSIONS PRIOR TO FABRICATION.
10. SEAL DOOR FRAME WALL JOINTS WITH PAINTABLE SEALANT.
11. VERIFY EXISTING DOOR OPENING DIMENSIONS IN FIELD.
12. SEE G3.01 FOR ACCESSIBLE DOOR OPERATING DEVICES, AND SHALL NOT REQUIRE TIGHT GRASPING OR PINCHING.
13. VIF COORDINATE PARTITION TYPES, ROUGH OPENINGS OF DOOR ASSEMBLIES DOOR FRAME THROAT DIMENSIONS PRIOR TO FABRICATION.




TYPE A
FLUSH

TYPE C
1/3 VISION LITE

TYPE D1
FOLDING GLAZED

TYPE D2
FOLDING DOOR

TYPE E
SLIDING GLAZED

TYPE F
SWING PANIC GLAZED

DOOR T PE
1/2" 1'-0"

TYPE G1
STORE FRONT GLASS ENTRANCE

TYPE H
STORE FRONT GLASS ENTRANCE

TYPE I
HISTORIC GLASS ENTRANCE

TYPE
GARBAGE DOOR (REFER TO A3.11)

TYPE K
SWING WIND BREAKER

BUREAU OF ARCHITECTURE

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CERTIFICATE OF APPROPRIATENESS 12/18/2023

| No. | Date | Revisions |
|---|---|---|
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PA AS
Drawn Author
Checked Checker

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Drawing Title

DOOR TYPES, OPENING SCHEDULE OPENINGS

Sheet No.
A 9.40
Scale 1/2" = 1'-0"

Original Sheet Size: 30" x 42"


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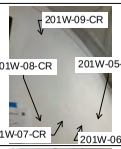


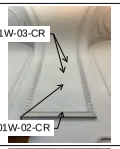

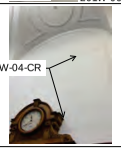

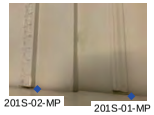


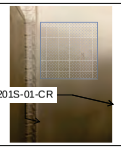

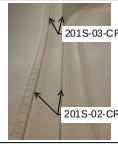


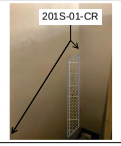


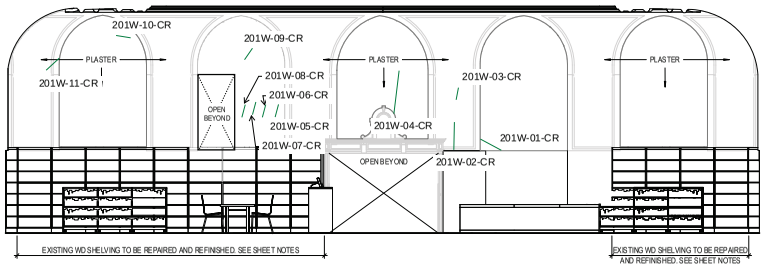


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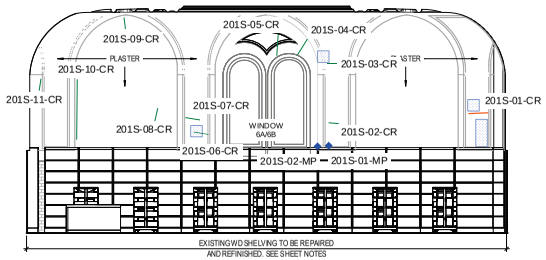


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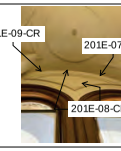
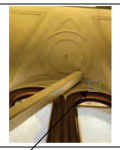
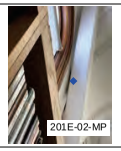
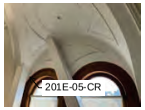
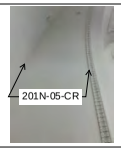
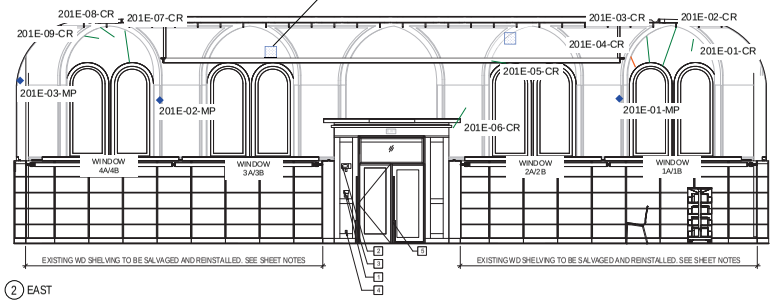


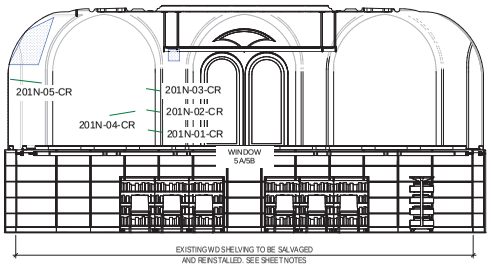









2 EAST




1 NORTH

## SHEET NOTES

1. SEE WINDOW SURVEY SHEETS FOR WINDOW REPAIRS.
2. REFER TO DRAWING A10.11 FINISH SCHEDULE AND MATERIAL LEGEND FOR FINISHES ALL MATERIALS IN THE MAIN READING ROOM ARE PART OF THE LANDMARKED HISTORIC FABRIC AND MUST BE PROTECTED DURING CONSTRUCTION. SEE A5.13 FOR ADDITIONAL INFORMATION.
3. ALL EXISTING FLAT PLASTER AND DECORATIVE PLASTER WHERE DAMAGED, MISSING OR REMOVED SHALL BE REPAIRED OR REPLICATED TO MATCH EXISTING.
4. ALL EXISTING WOOD TRIM, CARPENTRY, WINDOWS, SASH, AND DECORATIVE FEATURES ARE TO BE REPAIRED AND REFINISHED. REMOVE AND REINSTALL AS NECESSARY FOR RESTORATION.
5. SEE PROJECT MANUAL FOR SPECIFICATIONS REGARDING REPAIR TO HISTORIC MATERIALS INCLUDING WOODWORK, PLASTER, BRICK, TERRA COTTA, AND HISTORIC WINDOWS.

## KEY NOTES

## LEGEND

- CRACK
- HAIRLINE CRACK
- AREA OF PEELING PAINT
- PREVIOUS REPAIR
- DECORATIVE PLASTER MOLD MISSING

### REPAIR ID

| | |
|---|---|
| ####- ##- ## | PLASTER REPAIR CODE |
| ####- ##- ## | ROOM NUMBER |
| ###- ##- ## | |
| ####- ##- ## | REPAIR NUMBER |
| ####- ##- ## | REPAIR CODE |

| CODE | DESCRIPTION |
|---|---|
| CR | CRACK REPAIR |
| MP | MISSING PLASTER |

Original Sheet Size: 30" x 42"

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CHINATOWN BRANCH LIBRARY RENOVATION

1135 POWELL STREET
SAN FRANCISCO, CA, 94108

Consultant

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| No. | Date | Revisions |
|---|---|---|
| | | |

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PA AG
Drawn Author
Checked Checker

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Drawing Title

EXISTING INTERIOR ELEVATIONS - READING ROOM

Sheet No.

R0.51

Scale 1/4" = 1'-0"

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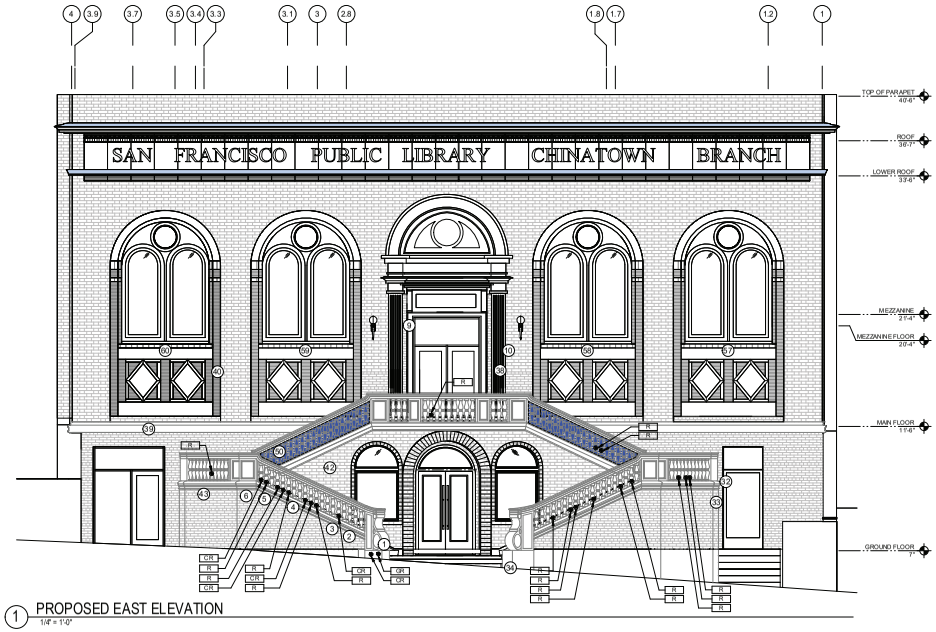


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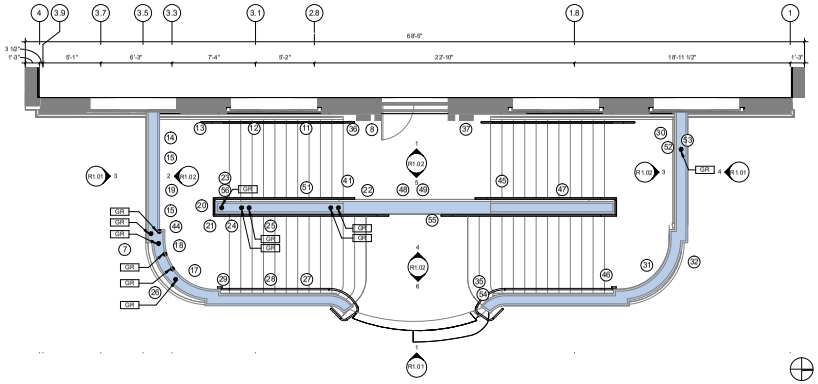


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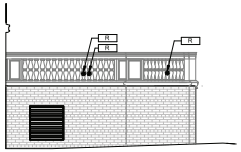
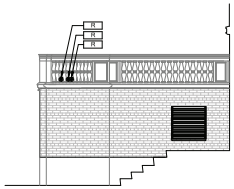


3 ELEVATION - GRAND STAIR SOUTH
1/4" = 1'-0"



4 ELEVATION - GRAND STAND NORTH
1/4" = 1'-0"

**GENERAL NOTES**

DAMAGE AND DEFICIENCIES NOTED ON THE DRAWINGS WERE OBSERVED FROM THE GROUND. CONTRACTOR SHALL ACCESS ALL TERRA COTTA ON ALL FACADES AND REPAIR PER SPECIFICATIONS.
ALL QUANTITIES ARE APPROXIMATE:

1. ASSUME 50% OF REPOINTING AT ALL TERRA COTTA JOINTS, SEE DETAIL 5 ON SHEET R1.06.
2. ASSUME 20 IN-KIND REPLACEMENTS OF BALUSTERS.
3. ASSUME BRICK PATCH REQUIRED AT 34 LOCATIONS.
4. CLEAN ENTIRE FACADE, INCLUDING TERRA COTTA AND BRICK.
5. REMOVE ALL BIOLOGICAL GROWTH AND CLEAN ANY STAINING.
6. ASSUME 20 LINEAL FEET OF TERRA COTTA CRACK REPAIR, SEE DETAIL 3 ON SHEET R1.06.
7. ASSUME 10 SF OF TERRA COTTA GLAZE REPAIR, SEE DETAIL, SEE DETAIL 2 ON SHEET R1.06.
8. ASSUME 16 SF OF TERRA COTTA BISQUE SPALL REPAIR, SEE DETAIL 1 ON SHEET R1.06.
9. SEE A3.11 FOR ADDITIONAL INFORMATION.

**SURVEY LEGEND**

- LIMITED SURVEY AT THIS LOCATION DUE TO PLYWOOD PROTECTION
- ASSUME GLAZE SPALL REPAIR ON 20% OF EACH UNIT AT SKY FACING UNITS
- REPAIR LOCATION
- XX — REPAIR CODE, SEE LEGEND BELOW
- # — CONDITION PHOTOGRAPH LOCATION, SEE R1.03 TO R1.05.

**REPAIR CODES**

| CODE | DESCRIPTION |
|---|---|
| AR | REMOVE ANCHOR AND PATCH |
| BR | BISQUE SPALL REPAIR |
| CR | CRACK REPAIR |
| GR | GLAZE SPALL REPAIR |
| PA | PATCH, TERRA COTTA |
| PB | PATCH, BRICK |
| R | REPLACE UNIT, TERRA COTTA |
| RB | REPLACE UNIT, BRICK |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Consultant

TREANORHL

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Section Mgr. Louisa Garcia
Technical Mgr. Vito Verori

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| No. | Date | Revisions |
|---|---|---|
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Drawing Title

EXTERIOR CONDITIONS

Sheet No. R1.01

Scale: 1/4" = 1'-0"

Contract ID. 10034810
Sourcing Event ID.

Original Sheet Size: 30" x 42"

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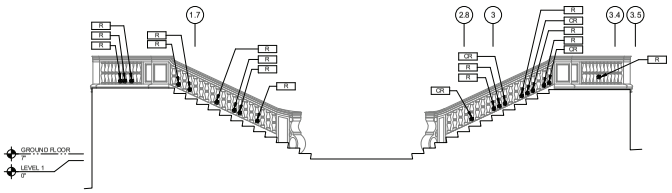
Plotted On: 2/13/2023 2:19 PM




6 PROPOSED EAST ELEVATION - BALUSTRADE
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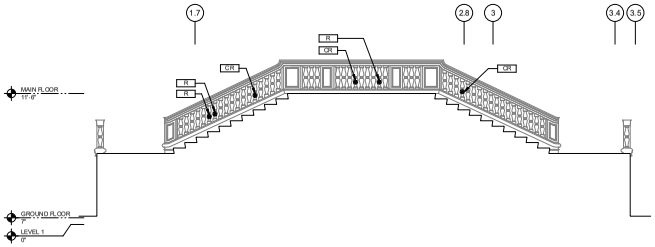
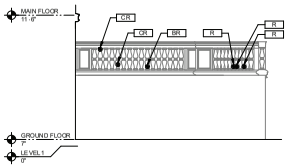
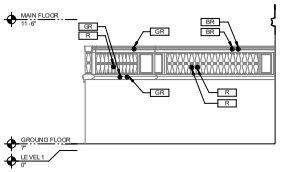



5 PROPOSED EAST ELEVATION - GRAND STAIR LANDING & BALUSTRADE
1/4" = 1'-0"

4 PROPOSED WEST ELEVATION - GRAND STAIR GROUND ENTRY
1/4" = 1'-0"




3 PROPOSED N ELEV - HISTORIC BALLUSTRADE
1/4" = 1'-0"




2 PROPOSED S ELEV - HISTORIC BALLUSTRADE
1/4" = 1'-0"

1 PROPOSED WEST ELEVATION - GRAND STAIR ENTRY LANDING
1/4" = 1'-0"

**GENERAL NOTES**

DAMAGE AND DEFICIENCIES NOTED ON THE DRAWINGS WERE OBSERVED FROM THE GROUND. CONTRACTOR SHALL ACCESS ALL TERRA COTTA ON ALL FACADES AND REPAIR PER SPECIFICATIONS.
ALL QUANTITIES ARE APPROXIMATE:

1. ASSUME 50% OF REPOINTING AT ALL TERRA COTTA JOINTS, SEE DETAIL 5 ON SHEET R1.06.
2. ASSUME 30 IN-KIND REPLACEMENTS OF BALUSTERS.
3. ASSUME BRICK PATCH REQUIRED AT 34 LOCATIONS.
4. CLEAN ENTIRE FACADE, INCLUDING TERRA COTTA AND BRICK.
5. REMOVE ALL BIOLOGICAL GROWTH AND CLEAN ANY STAINING.
6. ASSUME 20 LINEAL FEET OF TERRA COTTA CRACK REPAIR, SEE DETAIL 3 ON SHEET R1.06.
7. ASSUME 10 LF OF TERRA COTTA GLAZE REPAIR, SEE DETAIL, SEE DETAIL 2 ON SHEET R1.06.
8. ASSUME 16 SF OF TERRA COTTA BISQUE SPALL REPAIR, SEE DETAIL 1 ON SHEET R1.06.
9. SEE A3.11 FOR ADDITIONAL INFORMATION.

**SURVEY LEGEND**

- LIMITED SURVEY AT THIS LOCATION DUE TO PLYWOOD PROTECTION
- ASSUME GLAZE SPALL REPAIR ON 20% OF EACH UNIT AT SKY FACING UNITS
- REPAIR LOCATION
- XX — REPAIR CODE, SEE LEGEND BELOW
- # — CONDITION PHOTOGRAPH LOCATION, SEE R1.03 TO R1.05

**REPAIR CODES**

| CODE | DESCRIPTION |
|---|---|
| AR | REMOVE ANCHOR AND PATCH |
| BR | BISQUE SPALL REPAIR |
| CR | CRACK REPAIR |
| GR | GLAZE SPALL REPAIR |
| PA | PATCH, TERRA COTTA |
| PB | PATCH, BRICK |
| R | REPLACE UNIT, TERRA COTTA |
| RB | REPLACE UNIT, BRICK |

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Consultant

TREANORHL

Bureau Mgr. Julie Laue
Section Mgr. Louties Garcia
Technical Mgr. Vito Venori

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Drawing Title

EAST ELEVATION - GRAND STAIR

Sheet No. R1.02

Scale: 1/4" = 1'-0"

Contract ID. 10034810
Sourcing Event ID.

Original Sheet Size: 30" x 42"

Autodesk Docs://1135 Powell St Chinatown Library Historic Preservation/P10039-210200 Chinatown Library Historic Preservation_R20.rvt
Plotted On: 2023-06-30

NOTE: PHOTOGRAPHS ARE INTENDED TO SHOW GENERAL AND TYPICAL CONDITIONS INCLUDING STAINING, GLAZE SPALLS, BISQUE SPALLS AND JOINT DETERIORATION. NOT ALL CONDITIONS HAVE BEEN IDENTIFIED OR SPECIFICALLY CALLED OUT.

GLAZE SPALLS 16

GLAZE SPALLS 17

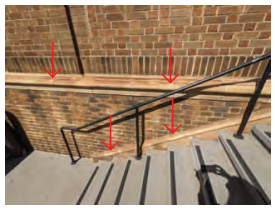
GLAZE SPALLS 18

BISQUE SPALLS AND JOINT DETERIORATION 19

GLAZE SPALLS 20

BISQUE SPALLS 11

DETERIORATED JOINTS 12

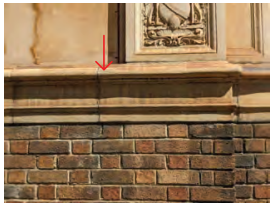


GLAZE SPALLS 13

CRACK AND GLAZE SPALLS 14

GLAZE SPALLS 15

STAINED TERRA COTTA 6



BISQUE SPALL 7

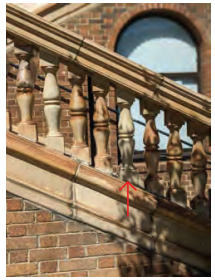
BISQUE SPALL 8

CRACKS 9

ENTRANCE DOOR SURROUND 10

CRACK AND GLAZE SPALLS 1

CRACKS 2



CRACKS 3

BALUSTER CRACKS AND DAMAGE 4

BALUSTER DAMAGE 5

Original Sheet Size: 30" x 42"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Drawing Title

CONDITIONS PHOTOGRAPHS

Sheet No. R1.03

Scale:

Contract ID. 10034810

Sourcing Event ID.

Autodesk Docs://Projects 2102.00 Chinatown Library Historic Preservation/P10034 2102.00 Chinatown Library Historic Preservation_R20.rvt
Plotted On: 10/18/2023 10:19 AM

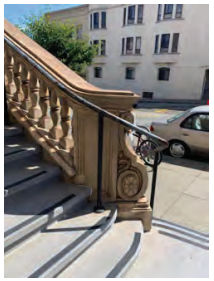
TERRA COTTA WINDOW SURROUND 40

STAINING AND JOINT DETERIORATION 39

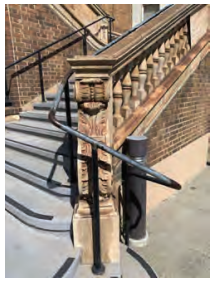
GLAZE SPALLS 38

GLAZE SPALLS 37

GLAZE SPALLS 36



NEWEL POST 35



NEWEL POST 34

JOINT DETERIORATION 33

BRICK AND TERRA COTTA 32

NOTE: PHOTOGRAPHS ARE INTENDED TO SHOW GENERAL AND TYPICAL CONDITIONS INCLUDING STAINING, GLAZE SPALLS, BISQUE SPALLS AND JOINT DETERIORATION. NOT ALL CONDITIONS HAVE BEEN IDENTIFIED OR SPECIFICALLY CALLED OUT.

CURVED BALUSTER 31

STAINING 30

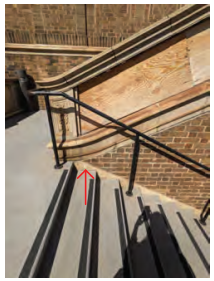
CRACK 29

CRACKS AND DAMAGE AT BALUSTERS 28

BALUSTER DAMAGE 27

STAINING AND JOINT DETERIORATION 26

BISQUE SPALLS 25



BISQUE SPALL 24

GLAZE SPALLS 23

GLAZE SPALLS AND STAINING 22

BISQUE SPALLS AND GLAZE SPALLS 21

Original Sheet Size: 30" x 42"

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Phone (628)271-2660


CHINATOWN BRANCH LIBRARY RENOVATION

1135 POWELL STREET
SAN FRANCISCO, CA, 94108

Consultant

TREANORHL

Bureau Mgr. Julia Laue
Section Mgr. Louelles Garcia
Technical Mgr. Vito Vanoni

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CONDITIONS PHOTOGRAPHS

Sheet No. R1.04

Scale:

Contract ID. 10034810
Sourcing Event ID.


Autodesk Docs://R1.04_PHOTOS 21022.00 Chinatown Library Historic Preservation/R1.04_PHOTOS 21022.00 Chinatown Library Historic Preservation_R20.rvt
Plotted On: 6/30/2023 2:36:28 PM

NOTE: PHOTOGRAPHS ARE INTENDED TO SHOW GENERAL AND TYPICAL CONDITIONS INCLUDING STAINING, GLAZE SPALLS, BISQUE SPALLS AND JOINT DETERIORATION. NOT ALL CONDITIONS HAVE BEEN IDENTIFIED OR SPECIFICALLY CALLED OUT.

WINDOW 60

WINDOW 59

WINDOW 58

WINDOW 57

EXPOSED TERRAZZO 56

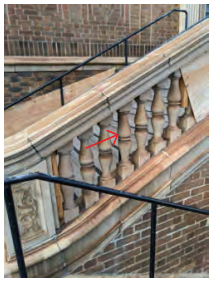
EXPOSED TERRAZZO 55

EXPOSED TERRAZZO 54

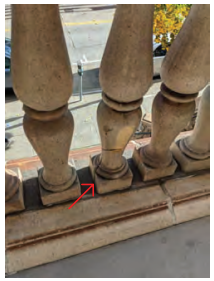
GLAZE SPALL 53

BALUSTER CRACK 52

BALUSTER CRACK 51



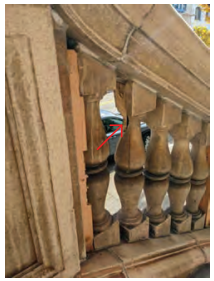
BALUSTER CRACK 50



BALUSTER DAMAGE - CLOSE UP 49

BALUSTER DAMAGE 48

BALUSTER DAMAGE 47



BALUSTER DAMAGE 46

BALUSTER CRACK 45

BALUSTER DAMAGE 44

BALUSTER DAMAGE 43

BRICK PATCHES 42

JOINT DETERIORATION 41

Original Sheet Size: 30" x 42"


BUREAU OF ARCHITECTURE

SAN FRANCISCO PUBLIC WORKS

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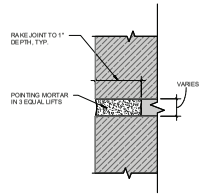
CONDITIONS PHOTOGRAPHS

Sheet No. R1.05

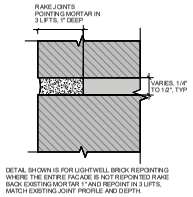
Scale:

Contract ID. 10034810
Sourcing Event ID.

Autodesk Docs://Projects 2102.00 Chinatown Library Historic Preservation/P10034 2102.00 Chinatown Library Historic Preservation_R20.rvt
Plotted On: 2023-06-30 PM




TERRA COTTA REPOINTING 5
12" = 1'-0"




BRICK REPOINTING 4
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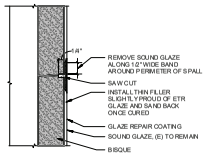
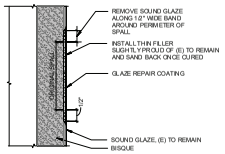
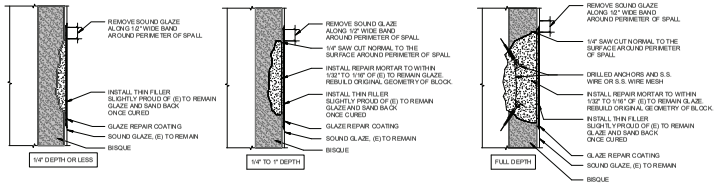



TERRA COTTA CRACK REPAIR 3
6" = 1'-0"




TERRA COTTA GLAZE REPAIR 2
6" = 1'-0"




TERRA COTTA BISQUE REPAIR 1
6" = 1'-0"

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MASONRY REPAIR DETAILS

Sheet No. R1.06

Scale: As indicated

Contract ID. 10034810
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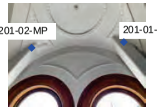
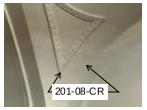
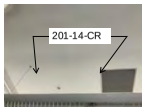
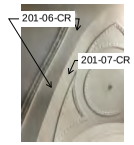
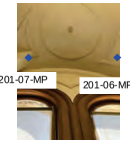
Plotted On: 3/29/2023

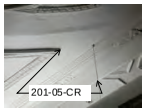


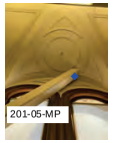



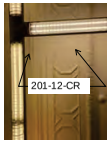


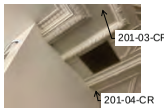



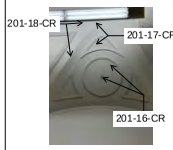



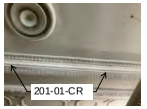


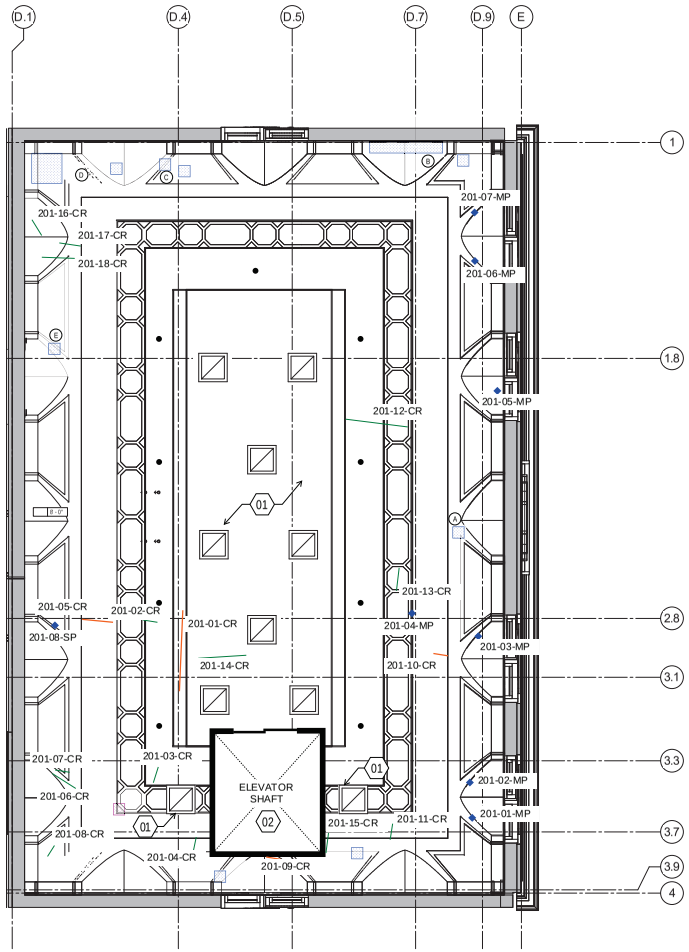









1 EXISTING MEZZANINE REFLECTED CEILING PLAN
1/4" = 1' - 0"

## SHEET NOTES

## KEY NOTES

01 REMOVE VENTS PER MEP DRAWINGS. REPLACE DECORATIVE PLASTER MOLD AS NEEDED.

02 REPLACE DECORATIVE PLASTER MOLD AT ELEVATOR SHAFT.

## LEGEND

- CRACK
- HAIRLINE CRACK
- AREA OF PEELING PAINT
- PREVIOUS REPAIR
- DECORATIVE PLASTER MOLD MISSING
- EXISTING VENT
- HISTORIC LIGHT FIXTURE
- (A) PHOTOGRAPH KEY OF PEELING PAINT

REPAIR ID

| | |
|---|---|
| ### - ## - ## | PLASTER REPAIR CODE |
| ### - ## - ## | ROOM NUMBER |
| ### - ## - ## | REPAIR NUMBER |
| ### - ## - ## | REPAIR CODE |

| CODE | DESCRIPTION |
|---|---|
| CR | CRACK REPAIR |
| MP | MISSING PLASTER |

Original Sheet Size: 30" x 42"

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EXISTING MEZZANINE REFLECTED CEILING PLAN

Sheet No. R6.01

Scale As indicated

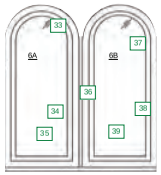
C:\Users\admin\Documents\RVA_CHTBL_MEND_ARCH_R23_charles.ludwig@PWSF.rvt
06/30/2023 2:22:42 PM
Charles Ludwig

GENERAL NOTES:
1. EXTERIOR SIDE OF WINDOWS AND SILLS REQUIRE LIMITED WOOD REPAIR WITH CONSOLIDENT
2. ALL WINDOWS TO BE REPAINTED ON EXTERIOR AND REFINISHED ON INTERIOR
3. WINDOW TREATMENTS TO BE REMOVED - ALL HOLES TO BE FILLED, ASSUME PATCHING OF 10 HOLES AT EACH SASH
4. REPAIR ANY DAMAGE AT BOTTOM HALF OF SASHES FROM WATER INFILTRATION
5. ALL WINDOWS SURVEYED FROM A DISTANCE - NO UP CLOSE SURVEY WAS COMPLETED. CONTRACTOR RESPONSIBLE FOR DETAILED WINDOW SURVEY TO IDENTIFY SPECIFIC REPAIRS AND LOCATIONS
6. THIS WINDOW SURVEY IS INTENDED TO PROVIDE A GENERAL OVERVIEW OF THE CONDITIONS OF THE WINDOWS, FRAMES AND SILLS
7. SEE R0.51 FOR WINDOW NUMBERS

LEGEND

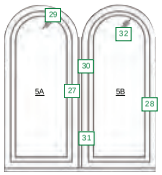
[X] SEE R8.02 AND R8.03 FOR PHOTOS

NOTES:
1. EXISTING WINDOW SASHES INFILLED



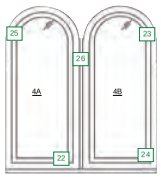

WINDOW 6A/B (6)

NOTES:
1. EXISTING WINDOW SASHES INFILLED



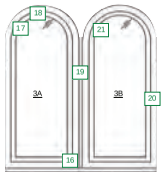

WINDOW 5A/B (5)

NOTES:
1. REPAIR DAMAGE AT TOP OF 4B



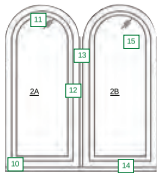

WINDOW 4A/B (4)

NOTES:
1. REPAIR DAMAGE AT TOP OF 3A
2. REATTACHED WOOD TRIM AT 3B



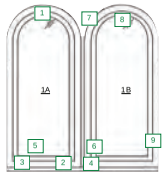

WINDOW 3A/B (3)

NOTES:
1. REPAIR DAMAGE AT TOP OF 2A AND 2B
2. REPLACE MISSING HARDWARE 2B




WINDOW 2A/B (2)

NOTES:
1. REPAIR DAMAGE AT TOP OF 1A AND 1B
2. REPLACE MISSING HARDWARE 1A




WINDOW 1A/B (1)

Original Sheet Size: 30" x 42"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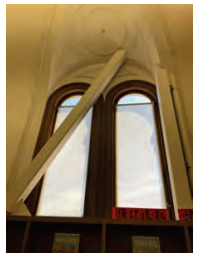
EXISTING WOOD WINDOW SURVEY

Sheet No. R8.01

Scale 1/4" = 1'-0"

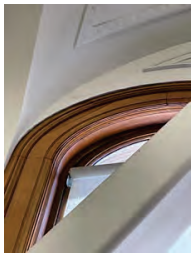

C:\Users\jeff.ryan\OneDrive - Treanor HL\Documents\Chinatown Library\1934_CHTBL_RENO_ARCH_R21 (4).rdatechard.rvt
Plotted: 6/21/2023 2:51:12 PM

Window 3B 20

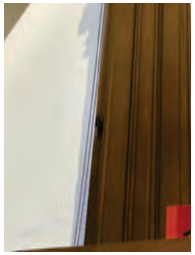


Windows 3A/B 19

Window 3A 18

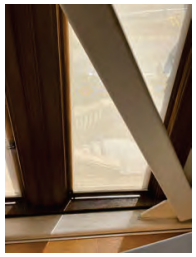


Window 3A 17

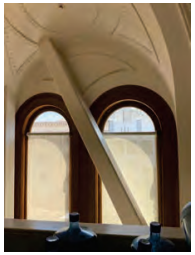


Window 3A 16

Window 2B 15

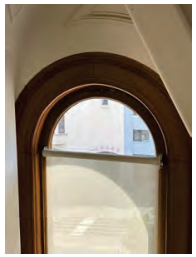


Window 2B 14

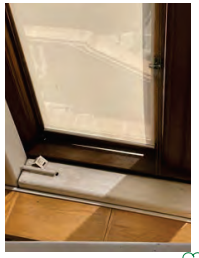


Windows 2A/B 13

Window 2A 12



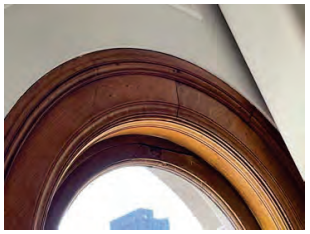
Window 2A 11



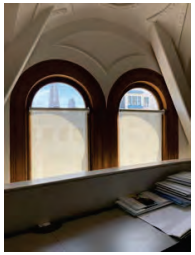
Window 2A 10

FOR DOUBLE DIGITS MAKE SURE THE NUMBER IS IN THE CENTER

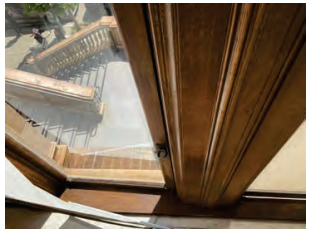
Window 1B 9



Window 1B 8



Windows 1A/B 7



Windows 1A/B 6

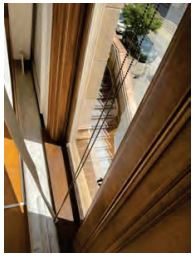
WINDOW 1A 5

ADD WINDOW WHEN ONE WINDOW IS CALLED OUT

WINDOWS 1A/B 4

ADD WINDOWS WHEN TWO WINDOWS ARE CALLED OUT

WINDOW 1A 3



WINDOW 1A 2

WINDOW 1A 1

Original Sheet Size: 30" x 42"

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Julia Laus - Bureau Manager & Principal Architect
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EXISTING WOOD WINDOW SURVEY

Sheet No. R8.02

Scale 1/4" = 1'-0"

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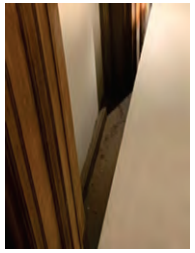

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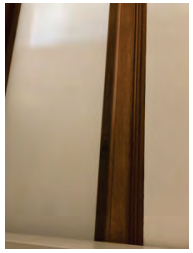

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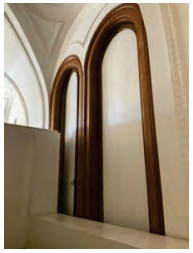

Windows 6A/B 36

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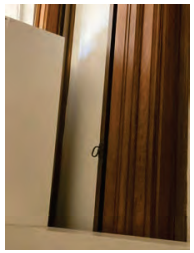


Window 6A 34

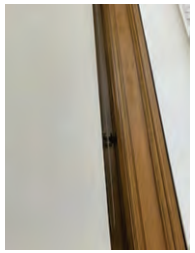
Window 6A 33

Windows 5B 32

Windows 5A/B 31

Windows 5A/B 30

Window 5A 29



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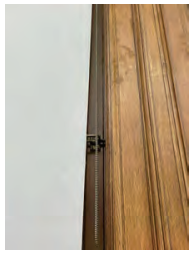

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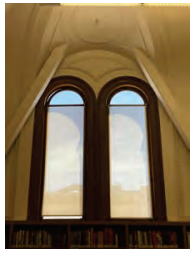
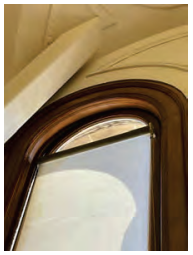


Windows 4A/B 26



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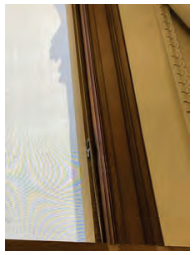

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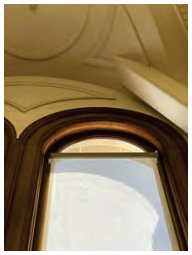

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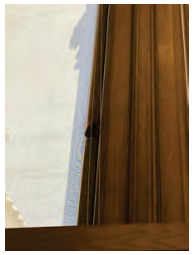

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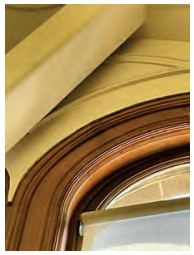

Window 3B 21

Original Sheet Size: 30" x 42"

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Sheet No. R8.03

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